



43rd Avenue and Elwood Street Planned Unit Development

*Request for a PUD for Continued Use of a Sand and Gravel Facility and
Subsequent Post-Mining Conceptual Development Plan*

Zoning Case #:

1ST SUBMITTAL: January 3, 2024

CITY OF PHOENIX

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**Planning & Development
Department**

Planned Unit Development Disclaimer

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies City of Phoenix Zoning Ordinance regulations and does not modify other City codes or requirements. Additional public hearings may be necessary such as, but not limited to, right-of-way abandonments.

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1. Purpose and Intent

The purpose of this Planned Unit Development (PUD) request is to rezone approximately 172.8 acres, located between 43rd Avenue and 51st Avenue south of the Elwood Street alignment, for the purpose of continuing the sand and gravel mining operations and associated batch plant at the existing mining site, while planning for future land uses on the site to ensure the site continues to be productive post-mining in approximately 40 years. The site includes four parcels, APNs 104-60-001D, 104-60-001B, 104-60-001C, 104-61-002E, and is shown below and on Exhibit A. This PUD proposes that the site transition from its current mining use to a post-mining land use concept that promotes the vision for Rio Reimagined.



The site is currently zoned A-1 SP, A-1, and A-2. There are no new buildings or structures that are anticipated to be built to continue the mining operations on the site.

The Special Permit requirements of the Phoenix Zoning Code require that a reuse plan be prepared for mining sites to establish a reclamation vision for the mined-out sites. Consistent with the Special Permit requirements, this PUD proposes a mining plan and post-mining reuse plan that will make the site development ready for the land uses proposed, which include Residential, Open Space, and Commerce Park uses. The post-mining uses are proposed to contribute to the City’s efforts to activate the Rio Salado/Salt River consistent with the Rio Reimagined vision and removes the many permitted by right uses allowed under the existing A-1 and A-2 zoning categories, which are at odds with the Rio Reimagined vision.

The Rio Reimagined initiative has three objectives: Connecting Communities, Restoring and Revitalizing Healthy Rivers, and Developing Economic Sustainability. This proposed post-mining reuse plan addresses these objectives in the following ways:

Connecting Communities: The reuse plan conceptually proposes land uses that are compatible with the existing surrounding area and brings the community – including residents, employees, and those looking to recreate – towards the Rio Salado. In this part of Phoenix, there is currently no public access to the Rio Salado. The conceptual reuse plan also supports this by incorporating passive and active recreational spaces and a multi-use path along the Rio Salado that has been long envisioned by the City of Phoenix through the Estrella Village Multi-Use Trail Plan. The reuse plan also envisions a trailhead with access from Elwood Street, with parking and restrooms to make this portion of the Rio Salado a destination in the Estrella Village. This will support regional connectivity along the river.

Restoring and Revitalizing Healthy Rivers: The conceptual reuse plan proposes native tree vegetation along the existing floodplain, as denoted in the US Army Corps of Engineers Rio Salado Oeste Feasibility Report. Landscaping throughout the PAD will emphasize native vegetation to complement the Salt River’s ecology.

Developing Economic Sustainability: Incorporating limited Commerce Park uses on the site ensures that there are employment opportunities on the site after mining is completed.

2. Background and Site Context

2.1 Zoning History

The site has been zoned industrially since the City’s first zoning ordinance in 1961. At this time, all parcels that make up the site were zoned A-1. The first rezoning case on the site was in 1979, when approximately 80 acres south of Elwood Street between 43rd Avenue and 47th Avenue were rezoned from A-1 to A-2 for the express purpose of sand and gravel production, which was adopted through Z-73-79. The approval states that the purpose of the rezoning was to permit sand and gravel production. At the time of this approval, Ordinance G-1303 had passed in 1973 thereby requiring a Special Permit for sand and gravel operations. Despite this, the site was rezoned in 1979 for sand and gravel use without a Special Permit provision. This area, currently zoned A-2, has never had a Special Permit, although mining had previously occurred on this site prior to the current property ownership.

In 1998, a Special Permit was obtained for 69.7 acres of the western portion of the site, zoned A-1 SP, for the purpose of sand and gravel mining, which was approved through Z-SP-14-98-7. This Special Permit included a timeframe for issuance, which has since lapsed. There are five stipulations for the previous zoning case, Z-SP-14-98-7 – this PUD intends to incorporate the majority of the stipulations.

To provide flexibility in operations, and at the suggestion of the Planning staff, both the A-1 and A-2 portions of the site are proposed for mining operations through this PUD and will comply with the standards described herein.

2.2 Existing Zoning and Land Use

The site is currently zoned A-1, A-1 SP, and A-2. This existing zoning on the site is shown on Exhibit B. Industrial zoning has existed on the site since the 1970s, and continues to exist on the site. The 1988 General Plan map shows the site as mostly Industrial with some Parks/Open Space. Since then, the General Plan has been updated and the site is now planned for Residential, Parks/Open Space, and a small sliver of Industrial. Despite the General Plan land use designations changing, the underlying zoning has not changed to be consistent with the current General Plan. Therefore, A-1 and A-2 uses continue to be permitted on the site as a matter of right. These industrial uses include uses beyond the mining on site, and include uses such as: automobile salvage; cement manufacturing; plastic products manufacturing; wrecking contractors' yards; and the basic compounding and processing of raw materials (A-2). Additionally, past interpretations allow the following uses to be permitted in A-1 and A-2: waste transfer stations involving some hazardous materials (A-1 and A-2); ready mix transfer plan subject to limitations (A-1); and hot mix asphalt plants (A-2).

While there is no intention for these uses on the site, these permitted industrial uses contradict and prevent the Rio Reimagined vision from coming to fruition in this strategic part of Phoenix. To overcome this, this PAD proposes zoning that is complementary to the Rio Reimagined once the site is mined out and reclaimed for post-mining development.

This PAD is being filed concurrently with a Minor General Plan Amendment to ensure that the existing use and proposed uses are aligned. ARS 9-461.05(C)(1)(g) states that municipal general plans must "include sources of aggregates from maps that are available from state agencies, information on how to locate existing mines the Arizona Geological Survey, consideration of existing mining operation and suitable geological resources, policies to preserve currently identified aggregates sufficient for future development and policies to avoid incompatible land uses, except that this subdivision shall not be construed to affect any permitted underground storage facility or limit any person's right to obtain a permit for an underground storage facility pursuant to title 45, chapter 3.1." The General Plan amendment proposes land uses that would preserve existing aggregates at the site for future development while acknowledging and planning for responsible reclamation of the site post-mining.

2.3 Relationship to Surrounding Properties

The site is currently surrounded by industrial uses to the north, south and west. To the north and south are properties that are zoned A-1. Current uses include a building materials stores, salvage company, concrete services, ready mix business, stone supplier, as well as some currently vacant property. The A-2 uses to the east include a landfill, trucking company, and transportation yard. Current land uses to the west include single family residential zoned R-2; self-storage facility zoned C-2 SP; and vacant land zoned C-2. Exhibit C shows the nearby land uses surrounding the site.

The following is a summary of zoning for the surrounding properties:

- North: A-1
- South: A-1
- East: A-2
- West: R-2, C-2, C-2 SP

2.4 Current Site Conditions and Operations

The current sand and gravel extraction area is currently located on the western side of the site. There is an existing pit that is 125 feet deep. The extraction process consists of removing earthen material for aggregate mining through dredging and other processes. Material is stockpiled on the site for use at the plant as well as outside sales.

There are office buildings located on the far east side of the site along 43rd Avenue. Employees' primary access is through an entrance and exit along 43rd Avenue. The site is fully fenced for safety. There are approximately 120 individuals employed at the site. The site has provided industrial employment opportunities since the 1970s, in alignment with Goal 4, Objective C of the Estrella Village Plan, which states "Industrial development is to provide a variety of employment opportunities for a diverse labor market." The existing conditions are shown in Exhibit C, Current Mining Site Plan.

3. Mining Plan

3.1 Land Use Plan

The current mining operations are shown on Exhibit C, Current Mining Site Plan. The current land use plan will meet the requirements of Section 647.A.1.i of the City of Phoenix Zoning Ordinance, pursuant to this PUD.

3.2 Mining Uses

A. Permitted Uses

Pursuant to the proposed PUD, the permitted uses are as follows:

- a. Sand and gravel mining
- b. Concrete mixing plants (batch plants)
- c. Offices associated with mining operations

B. Prohibited Uses

Prohibited uses shall include all other uses not listed under 3.2(A).

C. Temporary Uses

All temporary uses shall comply with the City of Phoenix Zoning Ordinance Section 708, Temporary Uses.

D. Accessory Uses

There are no accessory uses permitted for the mining site pursuant to the PUD.

3.3 Development Standards for Existing Mining Plan

The existing sand and gravel operation will comply with the City of Phoenix Zoning Ordinance Special Permit standards and A-1 standards until mining operations cease, except as identified in the following table:

Standard	City Standard Special Permit, Section 647	PUD Proposed Standard
Minimum distance between excavation and boundary	50'	24'
Minimum distance of building or structure other than conveyor belts or tubes to a dwelling unit	500'	4,500' to a batch plant 500' to a building
Standard	City Standard A-1 Light Industrial , Section 627	PUD Proposed Standard
Building Height	Maximum height of 56', up to 80' with use permit, up to 110' with City Council approval	Buildings up to 30'; plants up to 85' with a 300' setback from 43rd Avenue
Yard	For side and rear yards there shall be thirty (30) foot setback where adjacent to a residential district for closed buildings and one hundred fifty (150) feet for open buildings or uses.	For side and rear yards there shall be thirty (30) foot setback where adjacent to a residential district for closed buildings and one hundred (100) feet for open buildings or uses.
	Except for vehicle parking areas, no outdoor uses, outdoor storage, or open buildings shall be located within seventy-five (75) feet of a public street	Except for vehicle parking areas, no outdoor uses, outdoor storage, or open buildings shall be located within fifty (50) feet of a public street

A. Parking Standards

Parking shall be flexible to accommodate operations. Parking shall be limited to the eastern side of the site by the primary entrance. The number of parking spaces shall generally be related to the number of employers based on the largest shift in one day, and shall include 1 space per 300 square feet of administrative office, per City of Phoenix Zoning Ordinance, Section 702.

B. Landscape

There is no new landscaping proposed for the existing mining site.

C. Multi-Use Trail

The multi-use trail described in Section 4 will be constructed based on whichever of the following occurs first:

- Implementation of the Conceptual Reuse Plan, or
- Construction of the multi-use trail on an adjacent property.

D. Shading

There is no new shading proposed for the existing mining site.

E. Lighting

Lighting shall comply with the standards set forth through PZO Section 704. In conformance with Section 507 Tab A.II.A.8, all on-site lighting should be shielded from adjacent property.

F. Fences/Walls

Fences and walls shall comply with the wall standards in the City of Phoenix Zoning Ordinance Section 702 and 703.

G. Amenities

There are no amenities applicable for the existing mining site.

H. Mitigation of Adverse Effects

Noise: Mining operations closer than 50' from a residential neighborhood shall include sound mitigation structures, such as a berm.

Dust: The mining operator shall continue to comply with air pollution control regulations set forth by *Maricopa County Air Pollution Control Regulations Regulation III – Control Of Air Contaminants Rule 316 Nonmetallic Mineral Processing*.

3.4 Comparative Zoning Standards Table for the Mining Plan

The following zoning comparison tables show the relation between the proposed PUD standards and the comparative zoning standards for Special Permit uses and A-1 Light Industrial uses.

Standard	City Standard	PUD Proposed Standard
Standard	Special Permit Section 647	Proposed PUD Standard
Minimum distance between excavation and boundary	50'	24
Minimum distance of building or structure other than conveyor belts or tubes to a dwelling unit	500'	4,500'
<i>Minimum site size for excavation operation</i>	<i>5 acres</i>	<i>5 acres</i>
<i>Height of fence for portion of the site actually being used for operations at any particular period as to prevent uninvited access to the operations of the site.</i>	6'	<i>75" gate at primary entrance; 96" tall gate at secondary entrance</i>
Standard	A-1Light Industrial Section 627	PUD Proposed Standard
Building Height	Maximum height of 56', up to 80' with use permit, up to 110' with City Council approval	Buildings up to 30'; plants up to 85'
Yard	<i>(1) Section 701.D.3 shall apply to yards on an arterial or collector street, adjacent to a canal right-of-way, and when any yard on a public street is on a block where either side or the street contains</i>	<i>See Landscape Setbacks</i>

Standard	City Standard	PUD Proposed Standard
	<i>residential zoning.</i>	
	For side and rear yards there shall be thirty (30) foot setback where adjacent to a residential district for closed buildings and one hundred fifty (150) feet for open buildings or uses.	For side and rear yards there shall be thirty (30) foot setback where adjacent to a residential district for closed buildings and one hundred (100) feet for open buildings or uses.
	Except for vehicle parking areas, no outdoor uses, outdoor storage, or open buildings shall be located within seventy-five (75) feet of a public street	Except for vehicle parking areas, no outdoor uses, outdoor storage, or open buildings shall be located within fifty (50) feet of a public street
Open Storage Screening	<i>Any outside storage or use within one hundred (100) feet of a residential district or any public street shall be screened by a six (6) foot high solid fence or wall.</i>	<i>Any outside storage or use within one hundred (100) feet of a residential district or any public street shall be screened by a six (6) foot high fence.</i>
Standard	Bulk Regulations Section 701.D.3	Proposed PUD Standard
Landscaped Setbacks Street Side Rear	<p>a. A front yard of not less than twenty-five feet in depth shall be provided.</p> <p>(1) Where any parking space is established between the front property line and the principal building or structure, landscaping is required as follows:</p> <p>(a) A total landscaped area not less than eight feet times the lot frontage, measured in square feet, shall be provided between property lines abutting public right-of-way and the principal building or structure; and</p> <p>(b) Of this total area, a landscaped strip of not less than five feet in depth shall be located between the front property line and the parking area, exclusive of driveways and walkways.</p>	<p>a. A front yard of not less than twenty-five feet in depth shall be provided.</p> <p>(1) Where any parking space is established between the front property line and the principal building or structure, landscaping is required as follows:</p> <p>(a) A total landscaped area not less than eight feet times the lot frontage, measured in square feet, shall be provided between property lines abutting public right-of-way and the principal building or structure; and</p> <p>(b) Of this total area, a landscaped strip of not less than five feet in depth shall be located between the front property line and the parking area, exclusive of driveways and walkways.</p>

4. Post-Mining Reuse Plan

4.1 Land Use Plan

In compliance with Section 647.A.1.i. of the City of Phoenix Zoning Ordinance for Special Permit land uses, a post-mining conceptual reuse plan has been prepared for the reclamation of the site for future uses, shown as Exhibit E, Conceptual Reuse Plan. This Conceptual Reuse Plan is the basis for the Conceptual Site Plan, shown as Exhibit F.

It is anticipated that the mining operation will continue on the property for approximately 40 more years. The extraction pit will be filled concurrently as mining operations are completed on segments of the site. There will be an additional timeframe, after the projected 40 years, to backfill the remainder of the extraction pit with inert materials. Upon being filled, the site will be available for uses other than mining, with consideration to the existing floodplain, easements, and other site characteristics. The reuse plan will ensure that upon ceasing sand and gravel operations, the site be refilled and made development ready for the proposed land uses consistent with Rio Reimagined.

The reuse plan includes a mix of Residential, Open Space, and Commerce Park land uses. Due to the location of the site near the Rio Salado, the reuse plan also takes into consideration the concepts and objectives of the Rio Reimagined initiative. Key elements of the reuse plan include medium-high density Residential, Commerce Park uses, and Recreational Open Space, all of which connect to a multi-use trail along the Rio Salado, consistent with Rio Reimagined. A brief explanation of the anticipated land uses are as follows:

A. Residential

Residential land uses are conceptually proposed for 15+ dwelling units per acre on 59.87 acres. This residential area is located on the west side of the site, neighboring the existing single-family residential uses of the west side of 51st Avenue, with access to 51st Avenue. The proposed medium-density residential uses will help support the activation of the Rio Salado, located south of the residential area.

The Residential area is proposed to include 48.7 acres of open space/common area that is consistent of the Rio Salado. The proposed Open Space land use area is conceptually planned for the center of the site to provide access to Elwood Street to the north as well as a buffer between the Residential and Commerce Park uses. Open space on the site will encourage active and passive recreational activities and will include a trailhead for the multi-use trail that is proposed along the Rio Salado consistent with the General Plan and Rio Reimagined. The open space area is envisioned to include a trailhead with access from Elwood Street, with parking and restrooms. This concept will provide public access to the Rio Salado and make this portion of the river a destination in the Estrella Village, while also supporting regional connectivity.

B. General Commerce Park

The reuse plan proposes Commerce Park uses on the east side of the site, with access onto 43rd Avenue. The Commerce Park uses proposed in this area would create a transition between the industrial uses on the east side of 43rd Avenue and the remainder of the site. Uses within the Commerce Park portion of the site are envisioned to include indoor and/or enclosed uses, which could include indoor ready mix to continue to support the availability of construction materials to facilitate future sustainable development. There are a total of 64.29 acres proposed for General Commerce Park uses.

4.2 Phasing Plan for Post-Mining Reuse Plan

The phasing plan for backfilling the mining site is shown as Exhibit D. Backfilling the extraction pit will occur as mining operations conclude on portions of the site. This is projected to occur over the next approximately 60 years. Backfilling on the site has already been initiated on the west side of the site, and will continue in an easterly direction. The site will be filled with inert materials, from on-site and off-site sources as appropriate, and will be filled with the necessary volume and compaction appropriate for the proposed post-mining land uses.

4.3 Post-Mining Uses

This section identifies future post-mining uses on the site upon site reclamation:

A. Permitted Uses

Residential

Uses permitted within the Residential Land Use Category shall be the permitted uses identified in Section 616, R-3A Multifamily Residence, of the City of Phoenix Zoning Ordinance.

Commerce Park

Uses permitted within the Commerce Park Land Use Category shall be the permitted uses identified in City of Phoenix Zoning Ordinance Section 626, Commerce Park District,, and as identified below:

- a. Indoor concrete mixing plants (batch plants – a facility used to manufacture concrete by mixing aggregates) and accessory outdoor storage, located on the northeast corner of the site as illustrated in Exhibit E, Conceptual Reuse Plan.

B. Prohibited Uses

Commerce Park

Prohibited land uses in the Commerce Park Land Use Category shall include any use not listed in Section 626 of the City of Phoenix Zoning Ordinance, and the following:

- a. Ammunition, commercial loading
- b. Public utility buildings and facilities
- c. Environmental remediation facility
- d. Outdoor storage that is not accessory to a concrete mixing plant

C. Temporary Uses

All temporary uses shall comply with the City of Phoenix Zoning Ordinance Section 708, Temporary Uses.

D. Accessory Uses

Residential

All Accessory uses shall comply with the City of Phoenix Zoning Ordinance Section 706, Accessory Uses and Structures.

Commerce Park

Accessory uses permitted within the Commerce Park Land Use Category shall be pursuant to Section 626, Commerce Park District of the Phoenix Zoning Code.

4.4 Development Standards for Post-Mining Reuse Plan

Development standards shall comply with Sections 616 and 626 in the Phoenix Zoning Code, except as indicated in bold in the following tables.

Standard	City Standard R3-A PRD Section 616	Proposed PUD Standard
Dwelling unit density (units/gross acre)	23.1; 26.4 with bonus	15 to 23.1
Common areas	Minimum 5% of gross area	Minimum 10% of gross area
Landscape Setbacks	None	20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter public street(2); 15' adjacent to property line
Standard	City Standard General Commerce Park, Section 626	Proposed PUD Standard
Maximum concrete batch plant structure height (not building)	-	110' with a minimum setback of 300' from residentially zoned

A. Parking Standards

Parking shall comply with PZO Section 702. Bicycle parking shall comply with Section 1307.H. Section 507 Tab A.11.A.8, and Section 23-100.

B. Landscape Standards

Conceptual landscaping is shown on the reuse plan. This is provided for reference only and the final landscape plan will be included with future post-mining site plan reviews. The final landscape plan shall comply with the landscape standards in Section 703 and Chapter 5 of the Phoenix Zoning Code and the standards included in this PUD.

The landscape theme for development on the site shall emphasize Arizona desert vegetation, and be complementary of the Rio Salado ecology. Landscaping shall also include drought tolerant and low water use plants. Turf may be used in common areas, but shall not exceed 50% of the overall landscaped area. Trees should be used throughout landscaped areas for shading and may be clustered where needed to create optimal shade. Native trees shall be planted along the existing floodplain, as denoted in the US Army Corps of Engineers Rio Salado Oeste Feasibility Report.

C. Multi-Use Trail

The multi-use trail shall be located within the 50-foot corridor, beginning at the edge of the Rio Salado floodplain. The trail shall be a minimum of 10 feet in width. The surface of the trail may consist of pressed decomposed granite, minimum 4 inches thick, or concrete. The trail may include wayfinding signage, subject to approval by the City of Phoenix Parks and Recreation Department. A trailhead may be included subject to approval by the City of Phoenix Parks and Recreation Department. The multi-use trail shall be located on the berm, shown on Exhibit F, Conceptual Site Plan. The multi-use trail will be constructed based on whichever of the following occurs first:

- Implementation of the Conceptual Reuse Plan, or

- Construction of the multi-use trail on an adjacent property.

D. Shading

There shall be a minimum of 75% shading along public and private sidewalks. Open spaces and trails shall have a minimum of 50% shading.

E. Lighting

Any new lighting on site shall comply with the standards set forth through PZO Section 704

F. Fences/Walls

Fences and walls shall comply with the wall standards in the City of Phoenix Zoning Ordinance Section 702 and 703. Screening in the Commerce Park area shall comply with Section 626 of the Phoenix Zoning Code.

G. Amenities

Amenities in residential areas should include, at a minimum, walking path(s) that connect to the multi-use trail along the Rio Salado, and active/passive open space areas throughout the site. These amenities will be constructed in conjunction with the development of those areas post-mining.

4.5 Design Guidelines for Post-Mining Reuse Plan

Design of new post-mining development shall comply with the applicable codes and standards set forth by the City of Phoenix at the time of site reclamation, and with the following guidelines included in this PUD.

H. Architecture

Manipulation of Massing

The greatest height of residential buildings should be located along 51st Avenue, which is adjacent to residential and commercial development. Residential development should step down in height and massing from 51st Avenue towards the open space area. The Commerce Park buildings will be located along 43rd Avenue adjacent to existing industrial uses and zoning. Open space should be used to create a buffer between the Residential and Commerce Park uses.

Building Articulation

Buildings within the same land use areas should be designed with different façade treatments and undulations.

Textures, Materials, and Colors

Colors, materials, and textures on buildings throughout the site will be complementary to one another and complementary to the neighboring Rio Salado environment and Arizona desert hues.

Varied Heights

Residential buildings should have varied heights and be arranged as to create a step down in heights from 51st Avenue towards the centralized open space area.

Distinct Entry Features

Building entrances should have distinct architectural features and/or use of textures to be identifiable at the pedestrian scale.

Signage

The scale and style of signage should relate to the scale and style of buildings.

Four-Sided Architecture

All building elevations should include four-sided architecture to create visual appeal from public streets, open spaces, and trails.

Regionally Significant

The overall design and character of the site should be influenced by the design principles of the Estrella Village Plan and by the ecology of the Rio Salado.

I. Site Design

Variation in Building Siting and Orientation:

The siting and orientation of buildings should contribute to the character of the site. Commerce park buildings should have entrances oriented towards 51st Avenue and/or Elwood Street.

Varied setbacks

Setbacks should be varied along 51st Avenue and 43rd Avenue to create visual interest along.

Minimize Visual Impact of Parking

Parking should utilize landscaped islands to create a break in asphalt in parking lots. Loading areas for Commerce Park uses should be located at the rear of the building and screened from public streets and open space areas.

Grouping of Structures

Structures in the Residential land use area should be grouped where appropriate, to add to the neighborhood character and scale.

Mitigation of Adverse Effects

Screening in the Commerce Park area shall comply with Section 626 of the Phoenix Zoning Code. Concrete mixing plants/batch plants in the Commerce Park area shall be enclosed. Accessory outdoor storage for concrete mixing plants shall fully screened on all four sides by architectural elements and/or landscaping. Concrete mixing plants must not be located within 300 feet of the Rio Salado.

Concrete batch plants must be compliant with Maricopa County's Air Pollution Control Regulations to ensure potential adverse impacts to the surrounding community are mitigated.

Identifiable Building Streetscape

The building streetscape, along the public realm, should support connectivity to the Rio Salado.

Pedestrian Connectivity

Pedestrian connectivity should be supported through a network of paths and trails that connect uses to the open space areas and the multi-use trail.

Open Space Designation

Natural open space areas should be designated in areas along the Rio Salado.

4.6 Comparative Zoning Standards Table for Post-Mining Reuse Plan

The following zoning comparison tables show the relation between the proposed PUD standards and zoning districts.

Standard	City Standard	PUD Proposed Standard
Standard	R3-A PRD Section 616	Proposed PUD Standard
Minimum lot dimensions (width and depth)	None	None
Dwelling unit density (units/gross acre)	23.1; 26.4 with bonus	15 to 23.1
Perimeter standards	20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter public street(2); 15' adjacent to property line	20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter public street(2); 15' adjacent to property line
Building setbacks	10' front	10' front
Maximum height	3 stories or 40' for 150'; 1' in 5' increase to 48' height, 4-story maximum(5)	3 stories or 40' for 150'; 1' in 5' increase to 48' height, 4-story maximum(5)
Lot coverage	50%, plus an additional 10% for an ADU and/or attached shade structures Total: 60%	50%, plus an additional 10% for an ADU and/or attached shade structures
Common areas	Minimum 5% of gross area	Minimum 10% of gross area
Landscape Setbacks	None	20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter public street(2); 15' adjacent to property line
Standard	General Commerce Park Section 626	Proposed PUD Standard
Maximum building height	<i>18' within 30' of perimeter lot line; 1' increase per 3' additional setback, maximum 56' to 80' with use permit and site plan</i>	<i>18' within 30' of perimeter lot line; 1' increase per 3' additional setback, maximum 56' to 80' with use permit and site plan</i>
Maximum concrete batch plant structure height (not building)	-	80'
Lot coverage	50%	50%
Required setbacks	<i>a) 30' from perimeter lot line on a street, 20' not on a street b) 20' from interior lot line on a street, 0' not on a street</i>	<i>a) 30' from perimeter lot line on a street, 20' not on a street b) 20' from interior lot line on a street, 0' not on a street</i>
Landscape Setbacks	<i>Required setbacks adjacent to a</i>	<i>Required setbacks adjacent to a</i>

Standard	City Standard	PUD Proposed Standard
	<i>street or canal right-of-way shall be landscaped.</i>	<i>street, canal right-of-way, and trail shall be landscaped.</i>

5. Signs

All new signage shall comply with Section 705 of the City of Phoenix Zoning Ordinance.

6. Sustainability

The following sustainability practices will be incorporated:

- a. Landscaping shall include xeriscaping and drought tolerant plants.
- b. Utilize low-flow plumbing fixtures in buildings.
- c. Provide the required minimum of bicycle parking and electric bicycle parking.
- d. Provide the required minimum of electric vehicle parking spaces.
- e. Provide the minimum required amount of shading on public sidewalks.

The following are sustainability practices that are highly encouraged and planned to be utilized for post-mining development. Additional sustainability measures should be considered to meet the City's future sustainability goals.

- f. Landscaping along the multi-use trail shall include native tree revegetation along the existing Salt River floodplain, as denoted in the US Army Corps of Engineers Rio Salado Oeste Feasibility Report.
- g. Landscaping should include water saving products.
- h. A mix of housing types and housing products should be encouraged in the residential land use area.
- i. Encourage the participation in City waste diversion programs.
- j. Encourage the use of building materials that reduce heat absorption.

7. Infrastructure

9.1 Grading and Drainage

The site falls within a FEMA floodway and floodplain. The location within the floodplain and floodway does not restrict the current or future mining operations on the site. Mining operations do not and will not occur in the floodway.

Generally, the reuse plan provides consideration for both the Salt River floodway and surface water flooding. The post-mining conceptual reuse plan takes into consideration the location of the floodway, and designates that area as open space. The floodway is planned to be separated from the rest of the developable site by an armored berm, which will also serve as the location for the planned multi-use path along the Rio Salado.

Drainage methods such as berms and drainage flow structures are conceptually planned to ensure that surface water is properly and effectively drained from the site. A separate hydrology report will be submitted at the time of post-mining site plan review.

9.2 Water and Wastewater

Current water and wastewater needs will not change with the mining operation. Upon mining completion and reclamation of the site, the water and wastewater will be evaluated upon site plan review.

9.3 Circulation

The site is located between 43rd Avenue and 51st Avenue south of Elwood Street and the Elwood Street alignment. The primary entrance and exit for the site is located on 43rd Avenue. There is a secondary access point on 51st Avenue.

In compliance with Goal 3 of the Estrella Village Plan, the primary access for the site is on 43rd Avenue, which is not immediately adjacent to residential uses. The internal circulation system is limited to Arizona Materials operations. Parking areas are limited to spaces located on the eastern side of the site by the office buildings. The parking spaces are not paved and are subject to move depending on operations. Visitors may park in these spaces when the exit and entrance gates are open.

There are access roads throughout the site, which lead to the various operational areas, including to the extraction pit. There are also haul roads for transporting bulk material. These roads may change as mining progresses. The internal circulation roads are maintained, and signage is posted on the roads to indicate speed of traffic, direction of traffic, and any caution notices that are needed. The use of the roads on the site is for authorized operation purposes only and only authorized entry is allowed.

Upon completion of mining and reclamation of the site and during site plan review, a circulation plan will be developed to provide sufficient circulation for the proposed land uses on the site. A Traffic Impact Analysis will also be developed at that time.

As part of flood mitigation efforts to make the site developable, an armored berm will be constructed along the border of the Rio Salado. The armored berm is necessary to ensure that the site is developable in the future and thus, will be constructed as one of the first steps to reclaiming the site.

8. Legal Description

Please see Exhibit G for the legal description

9. Conclusion

Mining has occurred on the site for over 40 years and it is anticipated that mining operations will occur for another approximately 40 years. As mining operations are completed on the site, the site will be filled, creating a developable space for post-mining land uses that are compatible with the goals and visions of the Rio Reimagined initiative and the uses that are inconsistent with the Rio Reimagined, allowed under the existing A-1 and A-2 zoning, will be terminated.

Exhibit A

Site Aerial

43rd Ave and Elwood St: Site Aerial



51st Ave

43rd Ave

Elwood St

 Site

Exhibit B

Existing Zoning



Pre-App No. 23-3
Zoning Map

Property Location: Southwest corner of 43rd Avenue and Elwood Street



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Planning & Development Department

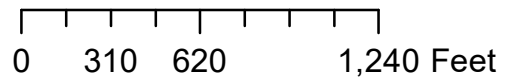


Exhibit C

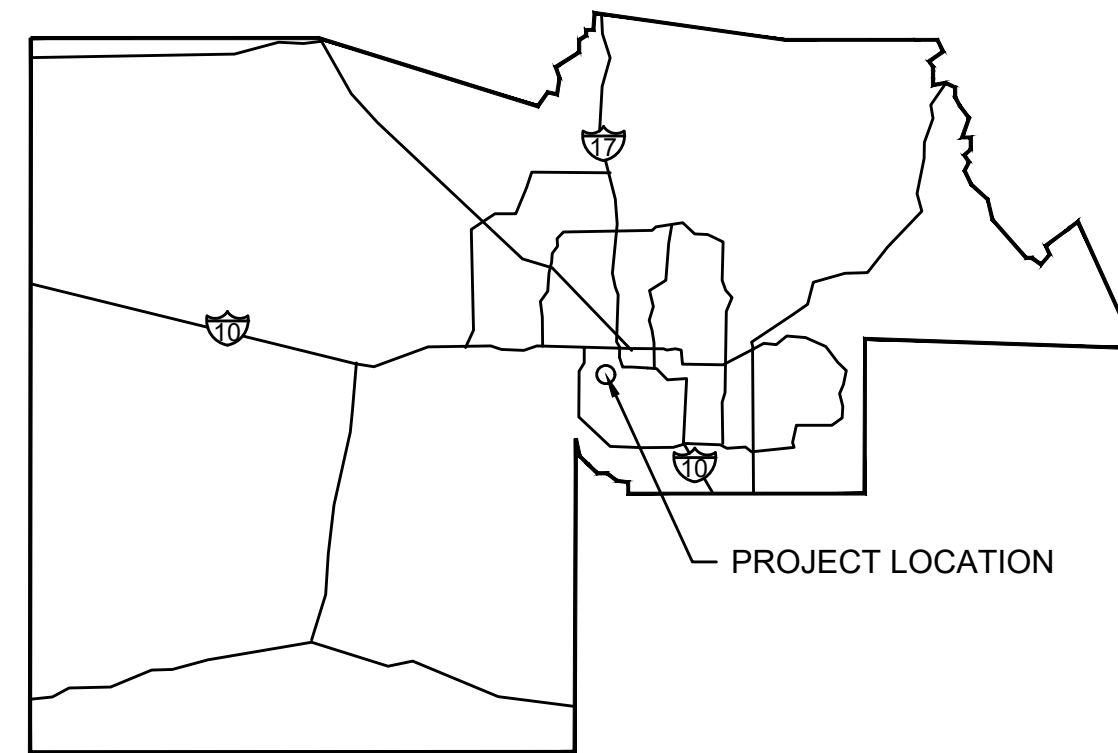
Current Mining Site Plan



1 DETAIL
1:100

PROJECT DESCRIPTION

SITE IS TO BE USED AS AN AGGREGATE QUARRY, READY MIX PLANT AND BULK INERT MATERIAL DUMP



VICINITY MAP MARICOPA COUNTY

PLAN

1:200

GENERAL NOTES

- 1. THE FOLLOWING ITEMS ARE NOT INCLUDED ON THIS REVISION:
 - PROPERTY LINES AND DIMENSIONS
 - RIGHT OF WAY ON STREETS
 - ACCESS POINTS/ MODIFICATIONS TO EXISTING STREET IMPROVEMENTS
 - GROSS BUILDING AREA AND FLOOR AREA RATION (FAR)
 - SETBACKS
 - LOT COVERAGE
 - TOTAL DWELLING UNITS/ DENSITY
 - PARKING REQUIREMENTS
 - LANDSCAPE PLAN

PARCEL NUMBERS:

104-61-002E	LOT SIZE 3,765,542 SQ FT
104-60-001B	LOT SIZE 435,295 SQ FT
104-60-001C	LOT SIZE 566,964 SQ FT
104-60-001D	LOT SIZE 2,762,196 SQ FT

COMBINED PARCELS 172.86 ACRES

ZONING LEGEND PREVIOUS ZONING CASE NUMBER: Z-SP-14-98-7

- ZONING CATEGORY A-1 - LIGHT INDUSTRIAL
- ZONING CATEGORY C/PCPG - COMMERCE PARK
- ZONING CATEGORY R-2 - MULTI-FAMILY RESIDENTIAL
- ZONING CATEGORY C-2 INTERMEDIATE COMMERCIAL
- ZONING CATEGORY A-2 - HEAVY INDUSTRIAL

KEYED NOTES

- | | |
|-------------------|-----------------------------------|
| 1 EXCAVATION AREA | 17 PARKING - 2 |
| 2 SA - 1 | 18 PARKING - 3 |
| 3 SA - 2 | 19 PARKING - 4 |
| 4 SA - 3 | 20 PARKING - 5 |
| 5 SA - 4 | 21 MB - 1 |
| 6 SA - 5 | 22 MB - 2 |
| 7 CONVEYOR | 23 OIL AST |
| 8 MSP - 1 | 24 DIESEL AST |
| 9 MSP - 2 | 25 TIRE SHOP - 1 |
| 10 RB - 1 | 26 DISPATCH BUILDING |
| 11 RB - 2 | 27 FAB SHOP |
| 12 CBP - 1 | 28 DRUM STORAGE |
| 13 CBP - 2 | 29 SLURRY PLANT |
| 14 TRUCK WASH | 30 STORAGE BUILDING |
| 15 OFFICE | 31 H2O CONCRETE AND MIXTURE TANKS |
| 16 PARKING - 1 | 32 A |

BUILDING HEIGHTS AND DIMENSIONS

BUILDING HEIGHTS:

- SLURRY PLANT	56'
- BATCH PLANT SOUTH	85'
- BATCH PLANT NORTH	75'
- MATERIAL WASH PLANT	20'

BUILDING DIMENSIONS:

- PURCHASING DEPT. BUILDING	83'x94'x10'
- FAB SHOP	87'x64'x30'
- TIRE SHOP	52'x81'x25'
- DISPATCH BUILDING	60'x24'x12'
- MAINTENANCE SHOP	77'x89'x30'
- OFFICE BUILDING 1	68'x28'x14'
- OFFICE BUILDING 2/ TRAILER	54'x48'x12'
- OFFICE BUILDING 3/ TRAILERS	54'x48'x14'

**FOR INFORMATION ONLY
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION**

Ref. Dwg. No.	Ref. Dwg. Title	Rev.	Description	Date	By	Chk	Eng.	Appd.
0	ISSUED FOR INFORMATION	23.10.17	JAL	JB	HL			

Permit-Seal



3133 West Frye Road Suite 300
Chandler AZ 85226-5110
www.stantec.com

The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Client/Project
ARIZONA MATERIALS
43rd Avenue Mine, Phoenix, Arizona
Site Plan
Project No. 182923561

File Name: sitemap.dwg	JAL	JB	SD	23.10.17
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Title
AZ MATERIALS
LAYDOWN
GENERAL ARRANGEMENT
PLAN AND DETAIL

Project No. 182923561 Scale AS NOTED

Drawing No. 23561-100-ASK01 Revision 0

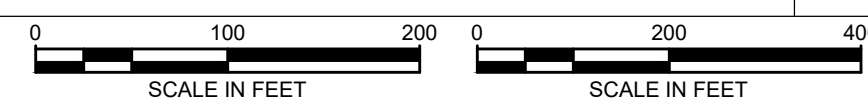










Exhibit D

Phasing Plan

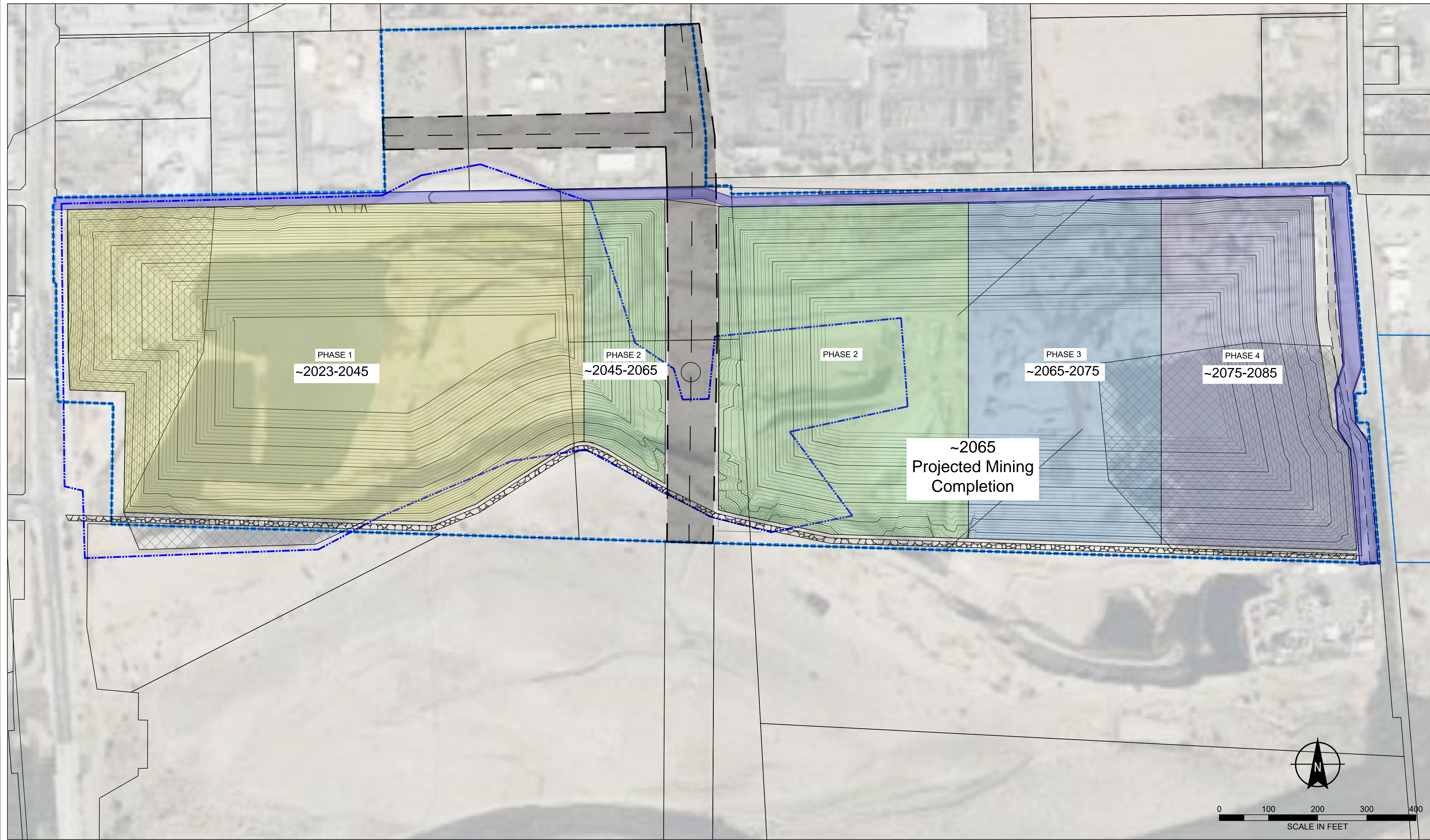
LEGEND

-  SITE BOUNDARY
-  EXISTING PIT BOUNDARY
-  FILL
-  PROPOSED CHANNEL FOOTPRINT

-  EASEMENT
-  PROPOSED ARMOR PROTECTION
-  EXISTING GROUND
-  PROPOSED GROUND

NOTES

1. SEQUENCING PLAN TO BE COMPLETED IN 5 MILLION CUBIC YARD SEGMENTS STARTING WEST AND GOING EAST.
2. ALL PHASES ARE ESTIMATED BASED ON CURRENT EXTRACTION CAPABILITIES.
3. TIMEFRAMES LISTED ARE SUBJECT TO ACTUAL EXTRACTION RATES.



RENNEHOFF BRANDONP:\hsh-11290903 0:37 AM - Layout: C:\01_HA-ENG\DL1
 \HALEY\ALDRICH\SHARE\CT\PROJECTS\0208587\CAD\WORKING\0208587_FIG-1_SEQUENCING_V2.DWG

Project No.:	0208587
Scale:	AS SHOWN
Date:	NOVEMBER 2023
Drawn By:	H&A
Designed By:	H&A
Checked By:	H&A
Approved By:	H&A
Stamp:	

DRAFT

Rev.	Description	By	Date

SUMMIT MATERIALS/
AZ MATERIALS -
43rd AVENUE SITE -
CONCEPTUAL PIT
EXPANSION

DRAFT
SEQUENCING
PLAN

FIG 1
Sheet: 1 of 1

Exhibit E

Conceptual Reuse Plan



ELWOOD STREET

READY-MIX SITE

43RD AVENUE

RECREATION

RESIDENTIAL

51ST AVENUE

HIKING TRAIL

TRAILHEAD WITH RESTROOMS

COMMERCE PARK

SALT RIVER

Conceptual Reuse Plan

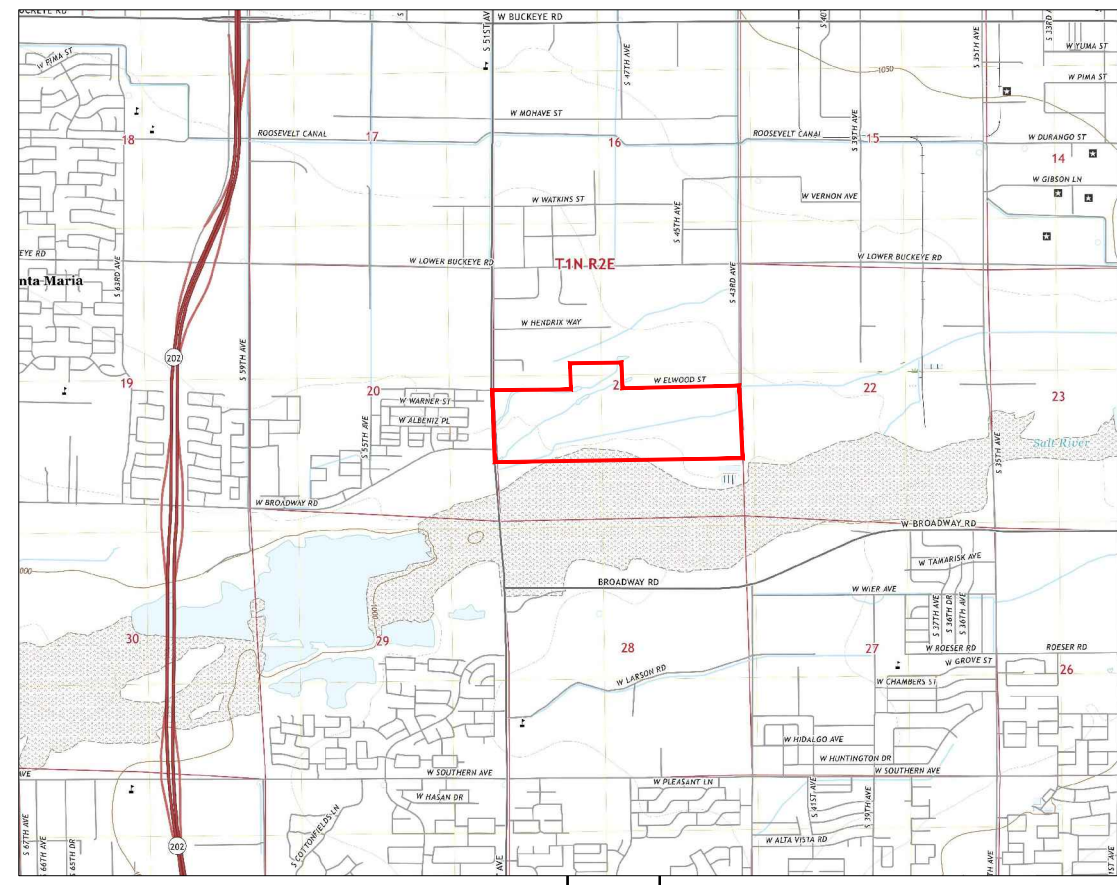
SEPTEMBER 20, 2023



Exhibit F

Conceptual Site Plan

VICINITY MAP



**RESIDENTIAL:
BUILDING AND LANDSCAPE SETBACK:**

- 20' ADJACENT TO PUBLIC STREET
- 15' ADJACENT TO PROPERTY LINE
- BUILDING HEIGHT: 4 STORIES
- COMMON AREAS: 5%
- PARKING WILL COMPLY WITH SECTION 702 OF THE PHOENIX ZONING CODE.
- DENSITY 23.1 DU/AC

**COMMERCE PARK:
BUILDING AND LANDSCAPE SETBACK:**

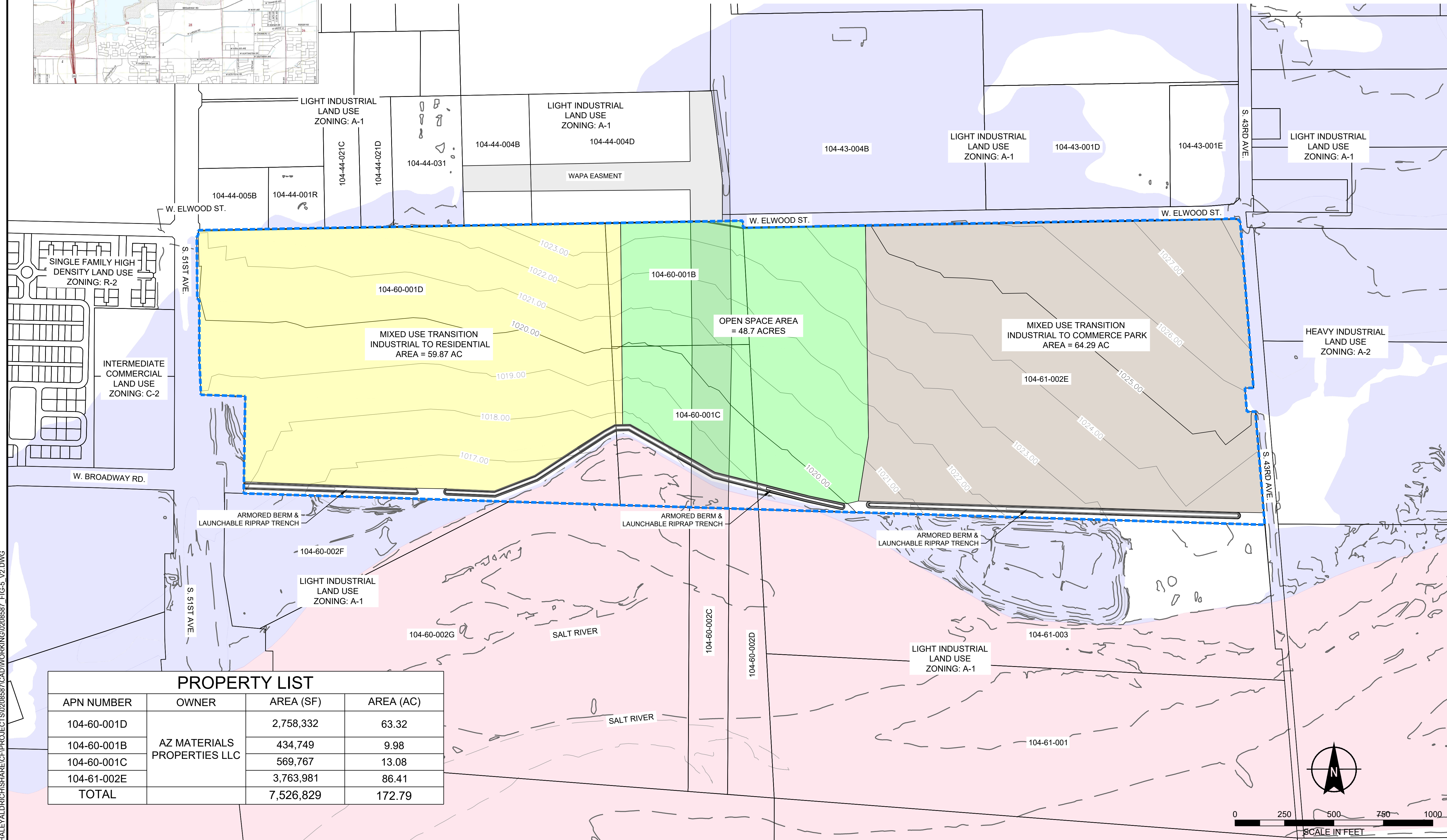
- 30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET
- 20' FROM INTERIOR LOT LINE ON A STREET, 0' NOT ON A STREET
- BUILDING HEIGHT: 56'
- CONCRETE BATCH PLANT HEIGHT: 80'
- 50% LOT COVERAGE
- PARKING WILL COMPLY WITH SECTION 702 OF THE PHOENIX ZONING CODE

LEGEND

- SITE BOUNDARY
- FEMA EFFECTIVE FLOODWAY
- FEMA EFFECTIVE FLOODPLAIN
- EXISTING GROUND (10' & 50' INTERVAL)
- PROPOSED GROUND (1' & 5' INTERVAL)
- RESIDENTIAL AREA
- RECREATION AREA
- COMMERCIAL PARK AREA
- EASEMENT

NOTES

1. ELEVATIONS PROVIDED ON THE FIGURE REFERENCE NAVD88
2. NO FILL IS TO BE PLACED IN THE FLOODWAY.
3. FORMAL LETTER OF MAP REVISION (LOMR) IS REQUIRED TO ENGINEER FILL ABOVE NATURAL GROUND ELEVATIONS AND FORMALLY REMOVE FLOODPLAIN DESIGNATION.



Project No.:	0208587
Scale:	AS SHOWN
Date:	DECEMBER 2023
Drawn By:	H&A
Designed By:	H&A
Checked By:	H&A
Approved By:	H&A
Stamp:	

DRAFT

D1	FOR INTERNAL REVIEW	BMB	12/07/23
Rev.	Description	By	Date

SUMMIT MATERIALS/
AZ MATERIALS -
43rd AVENUE SITE

CONCEPTUAL
SITE
PLAN

FIG 5

RENNEHOFF BRANDON: h44-12/27/2023 2:34 PM Layer: C-101_HA_ENG.DWG
 W:\HALEY\ALDRICH\PROJECTS\0208587\CAD\WORKING\0208587_FIG-5_V2.DWG

PROPERTY LIST			
APN NUMBER	OWNER	AREA (SF)	AREA (AC)
104-60-001D	AZ MATERIALS PROPERTIES LLC	2,758,332	63.32
104-60-001B		434,749	9.98
104-60-001C		569,767	13.08
104-61-002E		3,763,981	86.41
TOTAL		7,526,829	172.79

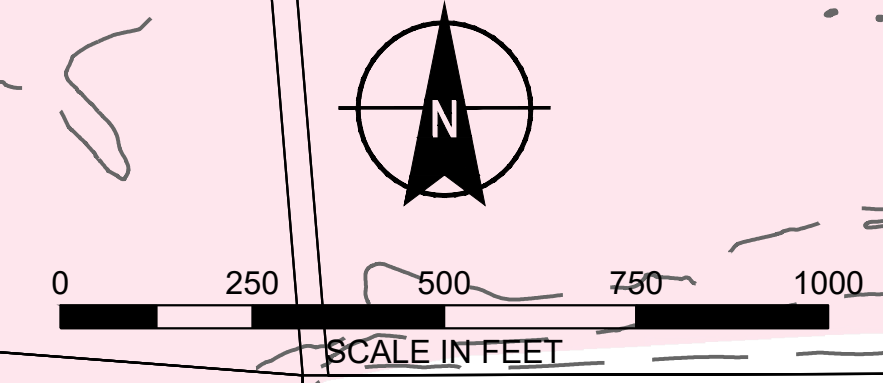


Exhibit G

Legal Description

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

The North half of the Southeast quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the East 33 feet; and

EXCEPT the following described property conveyed to THE CITY OF PHOENIX by Deed recorded August 7, 1979 in [Docket 13816, Page 674](#):

The North 33 feet of the Southeast quarter of Section 21 Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

TOGETHER with that part of said Southeast quarter described as follows:

BEGINNING at the intersection of the South line of the North 33 feet of said Southeast quarter with the West line of the East 33 feet thereof;

Thence South along said West line a distance of 15 feet;

Thence Northwesterly to a point on said South line which is 15 feet West of the POINT

OF BEGINNING; Thence East along said South line to the POINT OF BEGINNING;

EXCEPT that part lying within the East 33 feet of said Southeast quarter.

PARCEL NO. 2:

The East 695.50 feet of the North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the North 625.88 feet.

PARCEL NO. 3:

The North 625.88 feet of the East 695.50 feet of the North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

PARCEL NO. 4:

The North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the West 40 feet; and

EXCEPT the East 695.50 feet thereof; and

EXCEPT those portions as shown in Final Order of Condemnation recorded in [Instrument No. 99-1078292](#), more particularly described as follows:

The East 160 feet of the West 200 feet of the South 490 feet of the North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, of the property described in [Instrument No. 93-019480](#), Maricopa County Records; and

The East 100 feet of the West 300 feet of the South 490 feet of the North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, of the property described in [Instrument No. 93-019480](#), Maricopa County Records;

EXCEPT that portion as deed to the City of Phoenix, a municipal corporation recorded in [Instrument No. 2005-1036531](#), more particularly described as follows:

That portion of the North half of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

BEGINNING at the intersection of the North line of said North half of the Southwest quarter of Section 21 with the East line of the West 40.00 feet thereof;

Thence North $88^{\circ}59'57''$ East, along said North line, a distance of 25.01 feet to a point that lies 65.00 feet East of the West line of said Section 21;

Thence departing said South line South $00^{\circ}08'47''$ West, parallel with and 65.00 feet East of said West line, a distance of 349.99 feet;

Thence South $89^{\circ}51'13''$ East, a distance of 10.00 feet to a point that lies 75.00 feet East of said West line; Thence South $00^{\circ}08'47''$ West, parallel with and 75.00 feet East of said

West line, a distance of 290.80 feet;

Thence South $02^{\circ}13'39''$ East, a distance of 191.70 feet to a point on the North line of the South 490.00 feet of said North half of the Southwest quarter of Section 21, which lies 82.94 feet east of said West line;

Thence North $88^{\circ}10'14''$ West, along last said North line, a distance of 42.96 feet to said East line of the West 40.00 feet of the North half of the Southwest quarter of Section 21;

Thence departing last said North line North $00^{\circ}08'47''$ East, along said East line, a distance of 830.56 feet to the POINT OF BEGINNING;

EXCEPT that portion as deed to the City of Phoenix, a municipal corporation recorded in [Instrument No. 2005-1036532](#), more particularly described as follows:

That part of the Southwest quarter of Section 21, Township 1 North, Range 2 East of the Gila and Salt River Base and Meridian, described as follows:

BEGINNING at the Northeast corner of the West 65 feet of said Southwest quarter of Section 21;

Thence Easterly along the North line of said Southwest quarter to the East line of the

West 72 feet thereof; Thence South $00^{\circ}07'02''$ West along said East line a distance of

25.93 feet;

Thence South $41^{\circ}18'25''$ West a distance of 10.65 feet to the East line of said West 65 feet; Thence North $00^{\circ}07'02''$ East along last said East line of the POINT OF BEGINNING

