

Thunderbird Townhomes

NWC Thunderbird Rd and Coral Gables Dr

Planned Unit Development

PUD Narrative

Case Z-_____

1st Submittal: September 20, 2024

CITY OF PHOENIX

SEP 20 2024

**Planning & Development
Department**



**WITHEY
MORRIS
BAUGH**

Development Team

Developer

Edge Thunderbird, LLC
4408 N. 12th Street, Suite 200
Phoenix, AZ 85014
Contact: Avi Azoulay
avi@regalamericanhomes.com

Representative

Jason Morris / Alex Hayes
Withey Morris Baugh, PLC
2525 E. Arizona Biltmore Circle, Suite A-212
Phoenix, AZ 85016
hayes@wmbattorneys.com



Site Planning/Architecture

Virginia Senior
CCBG Architects, Inc.
102 E. Buchanan Street
Phoenix, AZ 85021
vsenior@ccbgarchitects.com



Landscape Architecture

Brandon Paul
Landscape Ethic
7525 E. 6th Ave
Scottsdale, AZ 85252
steve@earthlinecivil.com



Engineering

Steve Bargeloh
Earthline Civil Engineering
4408 N 12th Street, Ste 200
Phoenix, AZ 85014
steve@earthlinecivil.com

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- B. Zoning and General Plan Maps
- C. Conceptual Renderings
- D. Conceptual Site Plan
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- F. Conceptual Circulation Plan

Purpose and Intent

The purpose of this PUD is intended to be a stand-alone document of zoning regulations for this particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the City.

A. Project Overview and Goals

The subject site is approximately 3.6 gross acres located at the northeast corner of Thunderbird Road and Coral Gables Drive in Phoenix, Arizona (the "Property") as illustrated in the Aerial Map at **Exhibit A**. The Property is currently zoned R-O (Residential Office) with a General Plan Land Use Designation of Residential 3-5 du/ac. See Zoning and General Plan Maps at **Exhibit B**. The Property is encumbered by a large wash that traverses the northern and western perimeters of the Property, which has to date deterred development of the site. This PUD will establish site specific development standards and design guidelines that will enable development of the Property with a high-quality residential project featuring 16 townhomes.

A PUD is the appropriate zoning mechanism for the Property given the unique site context and the presence of the large wash, which substantially limits the developable area within the Property. Although the Planned Residential Development option of the R-2 zoning district, which serves as the base zoning district for this PUD, provides some of the tools necessary to execute the proposed development, some of the design considerations cannot be accommodated by the base R-2 district standards. In order to make the most efficient use of the site and create an exceptional residential experience, deviations from the R-2 zoning district via this PUD are necessary.

B. Overall Design Concept

The Thunderbird Townhomes will create a high-quality residential development with a unique product that is underserved in this submarket. The project will offer townhome condominiums that will enable home ownership at an attainable price point. The 16-unit community is thoughtfully designed to balance private spaces with recreational amenities. The buildings are designed with clean architectural lines that enhance both aesthetics and functionality. See Conceptual Renderings at **Exhibit C**. The community will also emphasize open space with the wash on the north side of the property providing a natural buffer, enhancing privacy and providing a serene open space for residents. A significant feature of the development is a pickle-ball court located along the Property's eastern perimeter, which provides an active and social outdoor experience. A spacious lawn will also provide a versatile green space for relaxation, gatherings, or other outdoor activities. The integration of these features creates a vibrant, cohesive environment that promotes community interaction.

Land Use Plan

The site plan for the 16-unit townhome community illustrates a well-organized and functional layout. See Conceptual Site Plan at **Exhibit D**. Two (2) two-story buildings, each comprising eight townhomes, are oriented to optimize space and access. The buildings have a maximum height of 30 feet and are separated by a central drive aisle providing access to resident garages. Along with individual garages for each unit, guest parking is strategically placed, ensuring sufficient parking for both residents and visitors. The layout also incorporates accessible routes for refuse collection, which will occur at each residence with individual trash cans stored in the resident's garage eliminating the need for unsightly trash enclosures.

The presence of the wash along the north side of the Property has a significant impact on the site's developable area. This constraint influences the site layout by requiring the townhome units to be positioned closer to the southern property line. Nevertheless, a 16' building setback is maintained from the southern perimeter of the Property with rear patios of the units in the southern building extending to the Property line. The Property benefits from a significant amount of right of way behind the curb along Thunderbird Road, which will be landscaped and will provide appropriate separation and screening from the street. Plantings at this location will be consistent with those permitted within the APS powerline easement that exists along Thunderbird Road. The resident patios will also be landscaped and will include trees and shrubs to provide additional screening.

The community places a strong emphasis on shared amenities, with a pickleball court serving as the central recreational feature. Near the court is a shaded seating area, providing a comfortable space for socializing and relaxation. The plan also includes bicycle parking and a bike repair station, which supports a more sustainable and active lifestyle for residents. Additionally, thoughtful landscaping enhances the aesthetic and functional quality of the outdoor spaces, including over 33,000 square feet of common area. See Conceptual Landscape Plan at **Exhibit E**.

One of the key highlights of the site plan is the integration of natural open space along the north side of the property, where a wash serves as both a visual and functional buffer. This wash not only provides a tranquil backdrop but also adds to the total open space available for residents, promoting a connection to the natural environment while maintaining privacy for the community. The combination of recreational facilities, open space, and quality residential design makes this community an appealing and practical development for residents.

List of Uses

Unless modified herein, the permitted uses shall be those permitted in the R-2 zoning district (Section 614) pursuant to table 608.D of the Phoenix Zoning Ordinance.

A. Permitted Uses

This PUD allows all uses permitted in the R-2 zoning district in Table 608.D of the Phoenix Zoning Ordinance.

B. Temporary Uses

Temporary uses shall be subject to Section 608 of the Phoenix Zoning Ordinance.

C. Accessory Uses

Accessory uses shall be subject to Section 608 of the Phoenix Zoning Ordinance.

Development and Landscape Standards

A. Development Standards Table

Development is subject to development standards generally based on R-2 PRD zoning district standards, except as modified by the development standards table below.

	Proposed
Maximum Density	6 du/ac
Min. Building Setbacks	<ul style="list-style-type: none">• North: 15 feet• East (Adjacent Coral Gables Road): 20 feet• South (Adjacent Thunderbird Rd): 15 feet*• West: 15 feet <p>*Except that patios and associated screen walls may project into the setback to the property line.</p>
Building Height Maximum	Two stories and 30 feet
Lot Coverage	Maximum 35%
Common Area	A minimum 33,311 square feet of common area shall be provided, which shall include 26,311 square feet of natural wash. A minimum of 7,000 square feet of active amenity space shall be provided. .
Parking Standards	<ul style="list-style-type: none">• A two-car garage shall be provided with each unit.• A minimum of 12 unreserved guest spaces shall be provided.
Bicycle Parking Standards	Bike racks shall be provided at a rate of .25 bicycle spaces per unit.
Lighting	All lighting standards shall comply with Section 507 Tab A.II.A.8 and Section 704 of the Phoenix Zoning Ordinance.
Fences and Walls	Fences and walls shall comply with Section 703 of the Phoenix Zoning Ordinance; except, <ul style="list-style-type: none">• A 6' screen wall may be provided along Thunderbird Road west of the driveway entering the Property,

	<p>provided such wall is minimum 50% open view fencing.</p> <ul style="list-style-type: none"> • 6' screen walls may be provided around resident patios, including adjacent Thunderbird Road, provided such walls include minimum 50% open view fencing.
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B. Landscape

Landscaping shall be provided per the following standards:

General	Where utility or easement conflicts arise, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
Landscape Setbacks	<ul style="list-style-type: none"> • North: 15 feet (maintained as natural wash) • East (Adjacent Coral Gables Road): 0 feet¹ • South (Adjacent Thunderbird Rd): 15 feet² • West: 15 feet <p>¹ Trees to be provided in 11' planting strip between property line and sidewalk. ² Patios and screen walls may encroach on landscape setback.</p>
Shade	<ul style="list-style-type: none"> • Minimum 75% shading of pedestrian sidewalk along Coral Gables Drive • Minimum 50% shading of pedestrian sidewalk along Thunderbird Road. • Shade to be provided by means of vegetation at maturity or shade structures.
Amenities	<p>A range of quality amenities to encourage social interaction between residents and visitors shall be provided, which shall include at least 3 of the following:</p> <ul style="list-style-type: none"> • Pickleball court • Shaded seating area • Lawn or turf area • Bike repair station • Tot lot • BBQ area
Plant Material	Drought-tolerant plant material shall be utilized within the required landscape areas.
Planting Standards	
Along Thunderbird Road	<ul style="list-style-type: none"> • (1) APS approved 2" Caliper Tree per 18 linear feet

	<ul style="list-style-type: none"> • (5) 5-gallon shrubs per 20 linear feet meeting 50% landscape coverage in all in all open space planting areas.
Along Coral Gables Drive	<ul style="list-style-type: none"> • One (1) 2" Caliper Tree per 25 linear feet • Five (5) 5-gallon shrubs per 25 linear feet meeting 50% landscape coverage in all in all open space planting areas
Along West Property Line	<ul style="list-style-type: none"> • One (1) 2" Caliper Tree per 25 linear feet • Five (5) 5-gallon shrubs per 25 linear feet meeting 50% landscape coverage in all in all open space planting areas
Adjacent Southern Perimeter of Drainage Easement	<ul style="list-style-type: none"> • One (1) 2" Caliper Tree per 25 linear feet • Five (5) 5-gallon shrubs per 25 linear feet in public open space areas, meeting 50% landscape coverage in all open space planting areas
Rear Yard	<ul style="list-style-type: none"> • One (1) 2" Caliper Tree per rear yard • Three (3) 5-gallon shrubs per rear yard
Parking Area	<ul style="list-style-type: none"> • One (1) 2" Caliper Tree and five (5) 5-gallon shrubs per parking island

Design Guidelines

A. Building Architecture

Architecture shall include multiple building materials such as stucco, stone veneer, and metal roofs. The buildings shall be modulated with changes in roof heights to differentiate the individual units. In addition, the buildings shall include a one story popout that adds interest to the rear façade and a step down in height from one story to two story. The buildings should have a modern aesthetic with clean lines and large windows while still retaining warmth and residential scale due to material juxtaposition and color changes. Smooth white stucco against the white stone veneer should be utilized to provide a gentle tone on tone effect allowing the red metal roofs to be both a complement and an aesthetically appealing contrast.

The drive aisle shall include sidewalks on either side with planters framing the garages. This ensures a separation of buildings of approximately 36' linear feet. Each unit will have a private patio entry with ample space for plantings, pots, and shaded walkway.

B. Walls and Fences

The colors, materials, and appearance of walls and fences should be compatible with the overall design, character and style of the development.

C. Landscape

The proposed development will embrace a landscape pallet representative of the property's adjacent natural environment. The Thunderbird Townhomes landscape design intent is to promote a landscape that is ecologically sensitive to the desert's arid environment through the use of regionally appropriate native plant materials, and low water, desert adapted species from the Arizona Department of Water Resources approved plant list. The proposed trees, shrubs, groundcover, and accents within the landscape design will serve as unifying elements which will visually tie the exterior features of the project together creating a unique landscape character.

Signs

Signs shall be provided in accordance with Phoenix Zoning Ordinance Section 705.

Sustainability

The following are sustainability practices that are encouraged within the PUD and divided into those that are city-enforced and those that are the developer goals.

1. City-Enforced Standards:

- Reduce heat island effect with a minimum shade requirement for sidewalks, paths, open space, and parking areas.
 - Minimum 75% shading of pedestrian sidewalk along Coral Gables Road.
 - Minimum 50% shading of pedestrian sidewalk along Thunderbird Road.
 - Shade to be provided by means of vegetation at maturity and/or shade structures.
 - Where utility, right-of-way or easement conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution.
 - Minimum 50% of guest parking to be covered.
- Encourage water conservation through the selection of drought tolerant plants and trees and smart and water efficient irrigation systems.
- Utilize low flow plumbing fixtures.
- Provide locations for secure bike parking such as visible public bike racks and/or bike lockers.

2. Developer Goals:

- The use of irrigation sensors may be implemented into the design of the irrigation system for the regulation and reduction of water consumption.
- Utilize “Smart” and water efficient irrigation control systems.
- Incorporate LED and energy efficient lighting technology into all lighting constructed on the Site.
- Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface area.
- Select building materials and colors to reduce overall heat gain.
- Design to reduce energy loads by addressing passive design elements (i.e. daylight, natural ventilation, solar mass) and active design elements (i.e. environmental conditioning methods, radiant heating and cooling, shared building systems).
- Provide high performance windows, insulation, and HVAC systems.
- Provide slope stabilizing plant material where appropriate to limit erosion.
- Incorporate dual-pane, energy efficient windows.
- Reduce windows on east and west facing façade to reduce heat gain at interiors.
- Install enhanced HVAC systems with 14 SEER or higher.
- Utilize ASHP (Air Source Heat Pump) for greater efficiency in HAVC system.
- Support enhanced indoor air quality and fresh airflow.
- Develop and implement a plan for recycling and materials management during construction.
- Encourage high-performance building designs that conserve resources, while balancing energy-efficient, water-efficient, cost-effective and low-maintenance engineering solutions and construction products through whole building life cycle assessment.
- Encourage the use of construction, roofing materials and paving surfaces with solar reflectance with thermal emittance values as shown in the Phoenix Green Construction Code or higher and which minimize heat island effects.
- Utilize low VOC paints, carpet and flooring materials.
- Encourage the use of recycling collection.

Infrastructure

A. Circulation

Access to the site will be provided from a single right in/right out driveway on Thunderbird Road, which is located approximately 360 feet west of Coral Gables Road. The driveway aligns with 11th Avenue on the south side of Thunderbird Road. Site circulation is provided via a single 26’ wide internal drive aisle. A hammerhead per City of Phoenix standard design (55’ outside curve/35’ inside curve) is provided along the eastern perimeter of the site to provide sufficient maneuverability for fire department and refuse collection access. See Conceptual Circulation Plan at **Exhibit F**.

B. Grading & Drainage

Development shall conform to the City of Phoenix regulations and design guidelines. Any drainage related items will be addressed during the site plan review process. Development of the site will not

encroach or in any way impact the existing wash for which an 80' drainage easement is already dedicated over the wash alignment.

C. Water Services

Public sewer and water connections will be requested from the City of Phoenix to serve this development. The property is immediately bound by public rights-of-way with adequate existing public facilities.

Comparative Development Standards Table

Standard	R-2 (PRD)	PUD
Minimum Lot Dimension	N/A	N/A
Maximum Residential Density	10.5 du/ac; 12 with bonus	6 du/ac
Required Building Setbacks	Perimeter: 20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter public street; 15' adjacent to property line 10' front building setback	<ul style="list-style-type: none"> • North: 15 feet • East (Adjacent Coral Gables Road): 20 feet • South (Adjacent Thunderbird Rd): 15 feet* • West: 15 feet <p>*Except that patios and associated screen walls may project into the setback to the property line.</p>
Maximum Building Height	2 stories or 30'	2 stories or 30'
Maximum Lot Coverage	50% plus an additional 10% for an ADU and/or attached shade structures Total: 60%	35%
Common Area	5% of gross area	A minimum of 33,000 square feet of common area shall be provided, which shall include 26,311 square feet of natural wash. A minimum of 7,000 square feet of active amenity space shall be provided.
Required Landscape Setbacks	20' adjacent to a public street; this area is to be in common ownership unless lots front on	<ul style="list-style-type: none"> • North: 15 feet (maintained as natural wash) • East (Adjacent Coral Gables Road): 0 feet¹

	the perimeter public street; 15' adjacent to property line	<ul style="list-style-type: none"> • South (Adjacent Thunderbird Rd): 15 feet² • West: 15 feet ¹ Trees to be provided in 11' planting strip between property line and sidewalk. ² Patios and screen walls may encroach on landscape setback.
Allowed Development	Single-family detached, single-family attached, and multifamily.	Single-family detached, single-family attached, and multifamily.
Required Review	Development Review per Section 507	Development Review per Section 507
Street Standards	Public street or private accessway	Public street or private accessway

Legal Description

A PORTION OF SECTION 18, TOWNSHIP 3 NORTH AND RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA;

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18, FROM WHICH THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18 BEARS NORTH 89 DEGREE 47 MINUTES 20 SECONDS A DISTANCE OF 1318.03 FEET;

THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18 NORTH 00 DEGREES 04 MINUTES 30 SECONDS EAST A DISTANCE OF 33.89 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID WEST LINE NORTH 00 DEGREES 04 MINUTES 30 SECONDS EAST A DISTANCE OF 232.91 FEET;

THENCE DEPARTING SAID WEST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18 NORTH 70 DEGREES 55 MINUTES 40 SECONDS EAST A DISTANCE OF 270.12 FEET TO THE COMMON SOUTHERLY CORNER OF LOTS 1 AND 13 OF THE PLAT OF MOON VALLEY AS RECORDED IN BOOK 92 AND PAGE 2 OF THE OFFICIAL RECORDS OF MARICOPA COUNTY;

THENCE NORTH 89 DEGREES 47 MINUTES 20 SECONDS EAST ALONG THE SOUTH LINE OF LOT 1 OF SAID MOON VALLEY A DISTANCE OF 204.72 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1;

THENCE SOUTH 86 DEGREES 10 MINUTES 54 SECONDS EAST A DISTANCE OF 40 FEET TO A NON-TANGENT CURVE OF RADIUS 630.0 FEET BEING THE MONUMENT LINE OF CORAL GABLES DRIVE;

THENCE ALONG SAID CURVE CONCAVE SOUTHEAST AND OF RADIAL BEARING SOUTH 86 DEGREES 10 MINUTES 54 SECONDS EAST A DISTANCE OF 44.31 FEET THROUGH A CENTRAL ANGLE OF 4 DEGREES 01 MINUTES 50 SECONDS;

THENCE SOUTH 0 DEGREES 12 MINUTES 40 SECONDS EAST A DISTANCE OF 307.04 FEET ALONG THE CENTERLINE OF CORAL GABLES DRIVE;

THENCE SOUTH 89 DEGREES 47 MINUTES 20 SECONDS WEST A DISTANCE OF 190.0 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 18 TO A TANGENT CURVE TO THE RIGHT OF RADIUS 1432.40 FEET;

THENCE ALONG SAID CURVE A DISTANCE OF 312.29 THROUGH A CENTRAL ANGLE OF 12 DEGREES 29 MINUTES 30 SECONDS TO THE POINT OF BEGINNING.
DESCRIBED PARCEL CONTAINING 3.7210 ACRES

EXHIBIT A

Aerial Map

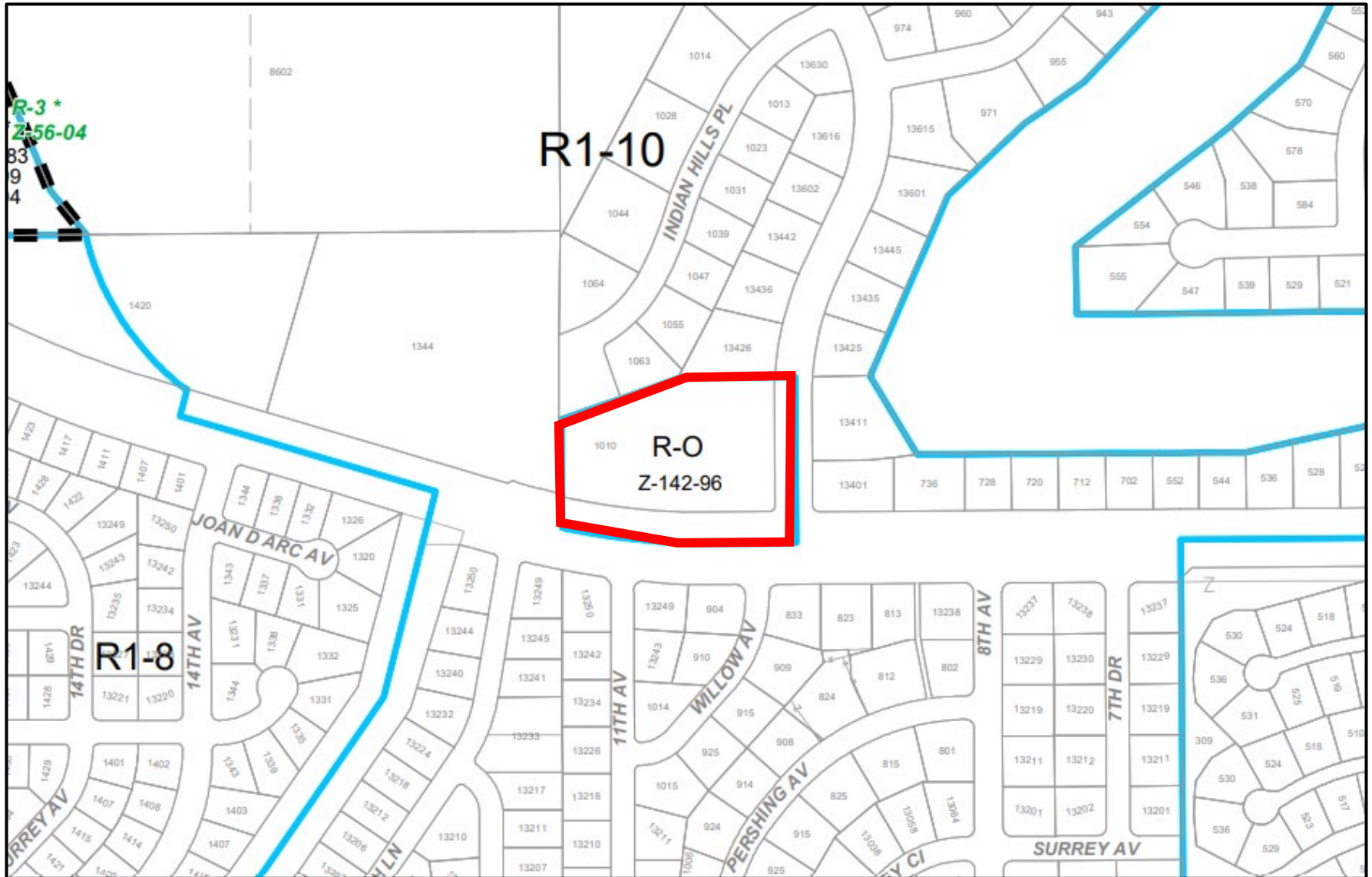


NWC Thunderbird Rd and Coral Gables Dr, Phoenix



EXHIBIT B

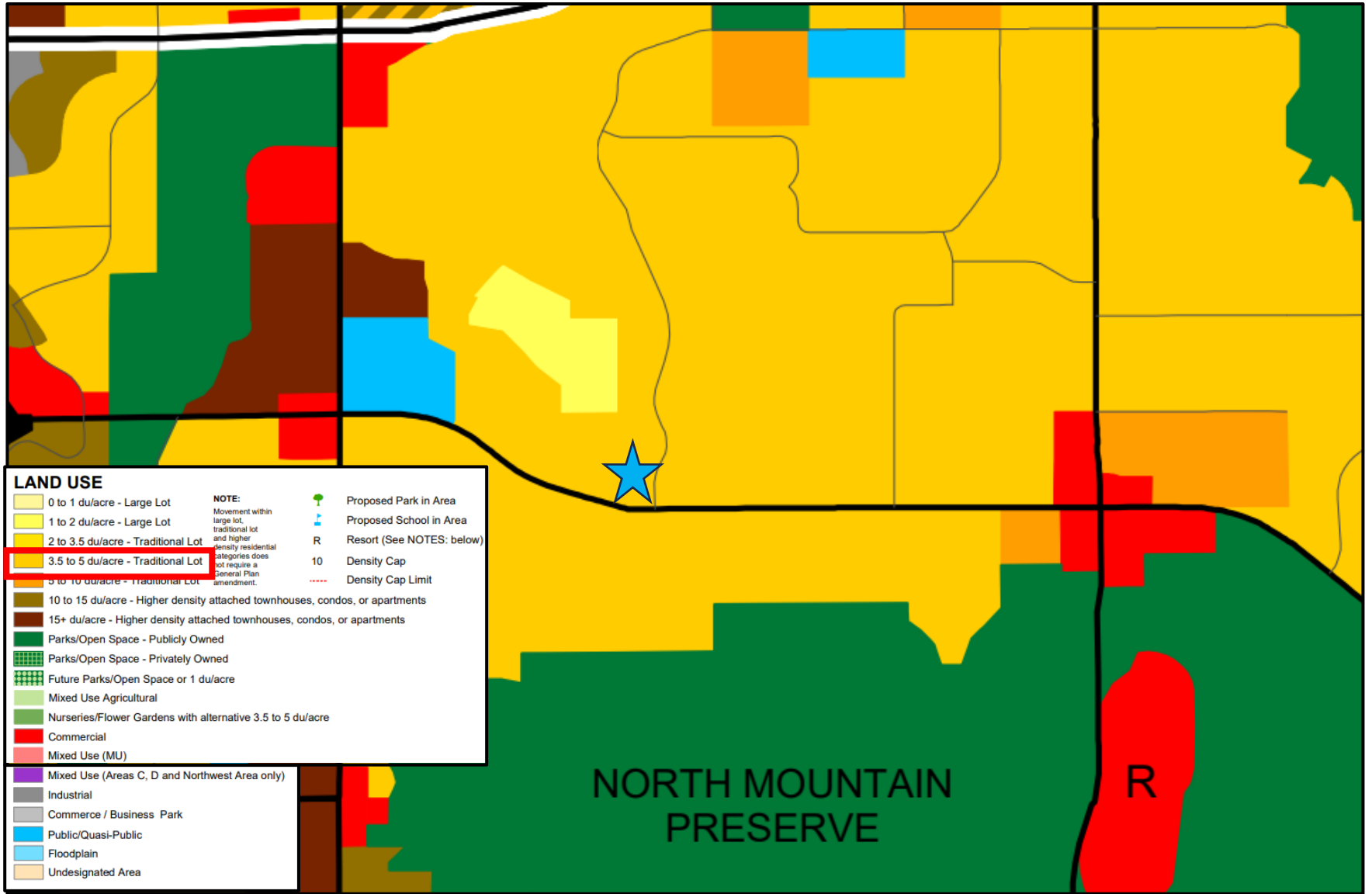
Zoning Map



NWC Thunderbird Rd and Coral Gables Dr, Phoenix



General Plan Map



NWC Thunderbird Rd and Coral Gables Dr, Phoenix



EXHIBIT C



**PRELIMINARY
NOT FOR
CONSTRUCTION**

TOWNHOME APARTMENTS FOR RENT
THUNDERBIRD & CORAL GABLES DR
RENDERINGS
THUNDERBIRD & CORAL GABLES DR
PHOENIX, AZ 85023

ISSUE

DATE	REV	FOR
05.09.2024		PRE APP SITE PLAN
09.18.2024		PUD APPLICATION

Drawn
VRS, RL
Checked
VRS
Job Number
2338
Drawing
SITE PLAN

Sheet
R1.0

X:\2338 AVI THUNDERBIRD\2338 DRAWING\AVI PROJECT\RENDERING\THUNDERBIRD\SITE PLAN\DWG\THUNDERBIRD_SITELANDSCAPE.dwg Plot by: VIRGINIA_SENO on 9/19/2024 1:31:13 PM

PRELIMINARY
NOT FOR
CONSTRUCTION

TOWNHOME APARTMENTS FOR RENT
THUNDERBIRD & CORAL GABLES DR
ELEVATIONS FONT AND REAR
THUNDERBIRD & CORAL GABLES DR
PHOENIX, AZ 85023

ISSUE

DATE	REV	FOR
05.09.2024		PRE APP SITE PLAN
09.18.2024		PUD APPLICATION

Drawn
VRS, RL
Checked
VRS
Job Number
2338
Drawing
SITE PLAN

Sheet

R3.0



1 VIEW FROM CORRAL GABLES LOOKING WEST
NTS



1 VIEW FROM THUNDERBIRD LOOKING NORTH
1" = 30'-0"

EXHIBIT D

GENERAL SITE NOTES

- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' x 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE R.O.W., IN ACCORDANCE WITH APPROVED PLANS.
- ALL ROOFTOP EQUIPMENT - SATELLITE DISHES AND/OR MECHANICAL EQUIPMENT - TO BE COMPLETELY SCREENED BY PARAPET WALL AND/OR MECHANICAL PENTHOUSE ENCLOSURE.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTORS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE.
- ALL SIGNAGE REQUIRES SEPARATE APPROVALS AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
- THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN

 SIGNATURE OF COPYRIGHT OWNER
 09.17.2024
 DATE

BRIAN CASSIDY, AIA
 PRINTED NAME OF COPYRIGHT OWNER

LEGAL DESCRIPTION

THAT PART OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SAID POINT OF BEGINNING BEING ALSO THE SOUTHWEST CORNER OF MOON VALLEY, RECORDED IN BOOK 92 OF MAPS, PAGE 2;

THENCE NORTH 00 DEGREES 04 MINUTES 30 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER, 100.47 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00 DEGREES 04 MINUTES 30 SECONDS EAST, ALONG SAID WEST LINE, 166.33 FEET;

THENCE NORTH 70 DEGREES 55 MINUTES 40 SECONDS EAST, 270.12 FEET;

THENCE NORTH 89 DEGREES 47 MINUTES 20 SECONDS EAST, 204.72 FEET;

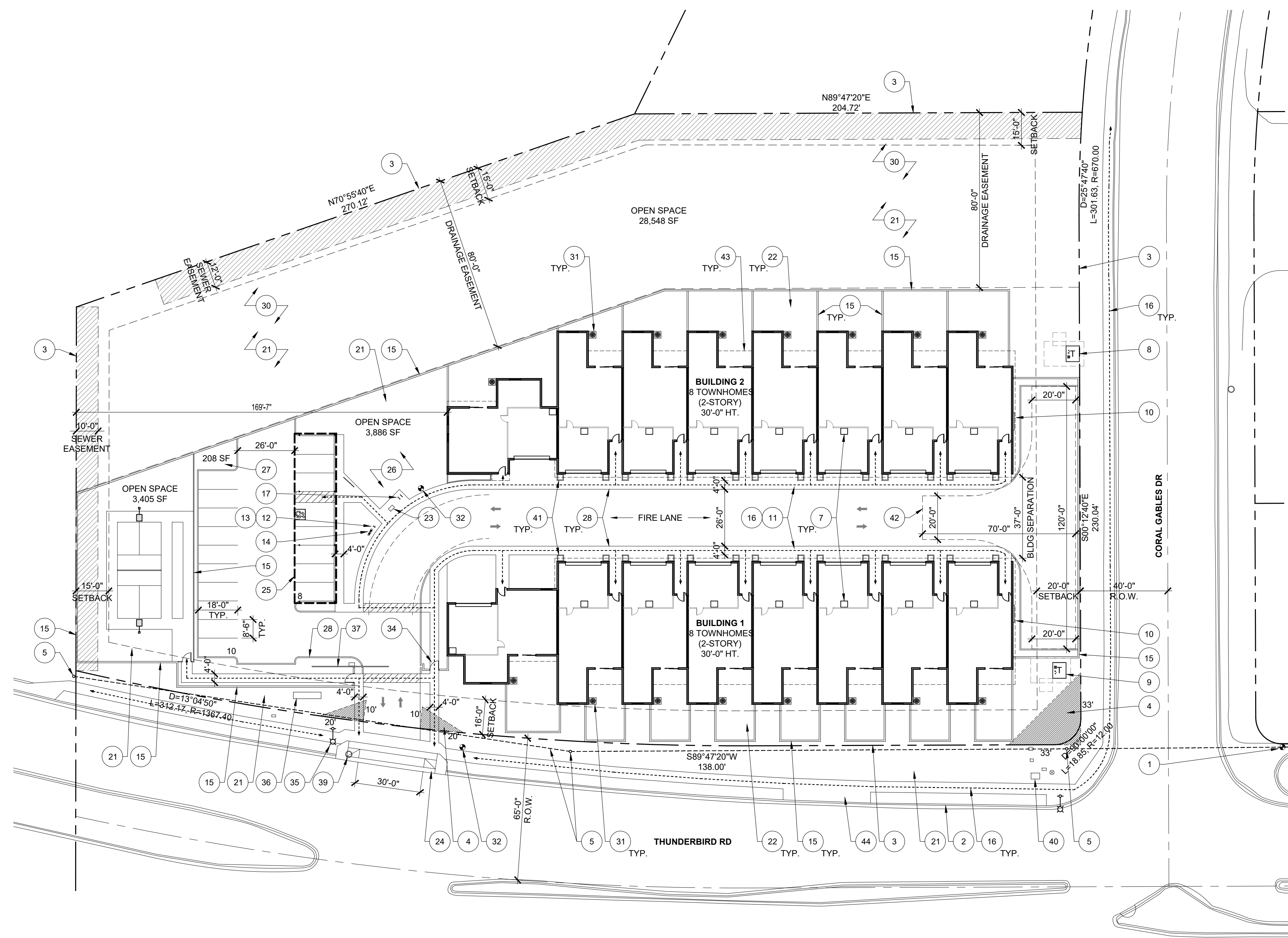
THENCE SOUTHWESTERLY ALONG THE CURVE HAVING A CENTRAL ANGLE OF 4 DEGREES 01 MINUTES 40 SECONDS AND A RADIUS OF POINT BEARING SOUTH 86 DEGREES 11 MINUTES 00 SECONDS EAST, 670.00 FEET, A DISTANCE OF 47.10 FEET;

THENCE SOUTH 00 DEGREES 12 MINUTES 40 SECONDS EAST, 230.04 FEET;

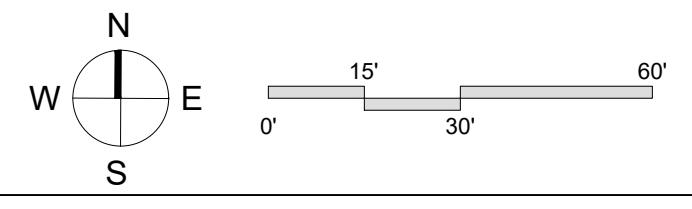
THENCE SOUTHWESTERLY ALONG THE CURVE HAVING A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AND A RADIUS POINT BEARING SOUTH 89 DEGREES 47 MINUTES 20 SECONDS WEST, A DISTANCE OF 18.85 FEET;

THENCE SOUTH 89 DEGREES 47 MINUTES 20 SECONDS WEST, 138.00 FEET;

THENCE NORTHWESTERLY ALONG THE CURVE HAVING A CENTRAL ANGLE OF 13 DEGREES 04 MINUTES 50 SECONDS AND A RADIUS POINT BEARING NORTH 00 DEGREES 12 MINUTES 40 SECONDS WEST, 1,367.40 FEET, A DISTANCE OF 312.17 FEET TO THE TRUE POINT OF BEGINNING.



NOTE:
 DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT. REFER TO CIVIL ENGINEERING HORIZONTAL CONTROL PLAN FOR LAYOUT DIMENSIONS.



1 SITE PLAN
 1" = 30'-0"

PROJECT DATA

PROJECT ADDRESS:
 1010 W THUNDERBIRD RD
 PHOENIX, AZ 85014

PROJECT DESCRIPTION:
 THIS PROJECT IS A 16 UNIT, GROUND UP, TOWNHOMES w/ GARAGE AND ONSITE PARKING. EACH BUILDING IS A TWO-STORY, TYPE VA WOOD FRAME BUILDING, SLAB ON GRADE. THE TOWNHOMES WILL BE INDIVIDUALLY PLATTED, ALONG WITH A SEPARATE HOA FOR SHARED AREA.

APPLICABLE CODES AND STANDARDS:
 2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL PLUMBING CODE (IPC)
 2017 NATIONAL ELECTRICAL CODE (NEC)
 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2018 INTERNATIONAL FIRE CODE (IFC)
 2018 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE
 2018 PHOENIX BUILDING CONSTRUCTION CODE - ADMINISTRATIVE PROVISIONS

APN: 208-27-743
GROSS SITE AREA: 3.72 ACRES (162,151 SF)
NET SITE AREA: 2.71 ACRES (117,911 SF)
DENSITY CALCULATIONS: ALLOWABLE PER R-2 PRD: 10.50 DU PROVIDED: 4.30 DU (16 UNITS/ 3.72 ACRES)
TOTAL UNIT COUNT: 16 TOWNHOME UNITS
ZONING: EXISTING: R-O PROPOSED: PUD
CONSTRUCTION TYPE: TYPE VA
OCCUPANCY: R-2 APARTMENTS (IBC 310)
SPRINKLERS: YES, NFPA 13
FIRE ALARM: YES
EMERGENCY LIGHTING: NO

BUILDING AREA:
 BUILDING 1 12,612 SF
 BUILDING 2 12,568 SF
 TOTAL 25,180 SF

BUILDING SETBACKS:
 MINIMUM SETBACKS PER R-2 PRD:
 FRONT SETBACK (SOUTH) 20'-0" ADJACENT TO STREET
 REAR SETBACK (NORTH) 15'-0"
 SIDE YARD SETBACK (EAST) 20'-0" ADJACENT TO STREET
 SIDE YARD SETBACK (WEST) 15'-0"

PROPOSED PUD SETBACKS:
 FRONT SETBACK (SOUTH) 16'-0"
 REAR SETBACK (NORTH) 15'-0"
 SIDE YARD SETBACK (EAST) 20'-0" ADJACENT TO STREET
 SIDE YARD SETBACK (WEST) 15'-0"

EXISTING EASEMENTS:
 12'-0" SEWER EASEMENT
 80'-0" DRAINAGE EASEMENT

BUILDING HEIGHT:
 ALLOWED: 30'-0" TOP OF ROOF (2 STORIES)
 PROPOSED: 30'-0" TOP OF ROOF (2 STORIES)

COMMON AREA:
 EXISTING COMMON AREA REQUIREMENTS:
 5% OF GROSS AREA
 162,151 x .05 = **8,108 SF REQ'D**

PROPOSED COMMON AREA REQUIREMENTS:
 PICKLEBALL COURT: 3,405 SF
 SHADED SEATING AREA: 3,886 SF
 WASH: 28,548 SF
 TOTAL **35,839 SF PROVIDED**

AMENITIES PROVIDED:
 1. PICKLEBALL COURT
 2. SHADED SEATING AREA
 3. BIKE FIX-IT

LOT COVERAGE:
 (BLDG FOOTPRINT & OVERHANGS IN SQUARE FOOTAGE)
 BUILDING 1 14,728 SF
 BUILDING 2 14,751 SF
 COVERED PARKING 1,473 SF
 TOTAL 30,952 SF

PARKING LOT LANDSCAPE:
 REQUIRED 5% OF PARKING AREA
 .05 x 2,889 SF = **144 SF REQ'D**
 PROVIDED **208 SF PROVIDED**

PARKING:
 REQUIRED
 1.5 SPACES PER UNIT @ 16 UNITS 24 SPACES
 25 SPACES PER UNIT (UNRESERVED) 4 SPACES
TOTAL 28 SPACES REQ'D

PROVIDED:
 GARAGE PARKING 32 SPACES
 GUEST PARKING 18 SPACES
TOTAL 50 SPACES PROVIDED

BICYCLE PARKING:
 0.25 BICYCLE PARKING FOR EVERY RESIDENTIAL UNIT
 16 UNITS x 0.25 = 4 BICYCLE PARKING SPACES REQ'D
 4 BICYCLE PARKING SPACES PROVIDED

REFUSE & RECYCLING:
 REQUIRED
 SOLID WASTE: 16 UNITS x .5 = 8 CU YDS @ 2x / WEEK = **4 CU YDS REQ'D**

PROVIDED:
 (1) 65-GALLON CONTAINER IN EACH TOWNHOME GARAGE
 (65-GALLON CONTAINER x 16 UNITS = 1,040 GALLONS) = **5.1 CU YDS PROVIDED**

KEYNOTES

- EXISTING PUBLIC FIRE HYDRANT
- EXISTING CURB
- PROPERTY LINE
- SITE VISIBILITY TRIANGLE
- EXISTING ELECTRICAL POLE & OVERHEAD ELECTRICAL WIRES TO REMAIN
- NEW 6" CMU WALL
- TRASH BINS IN GARAGE, REFUSE TO BE PICKED UP AT EACH HOUSE
- EXISTING TRANSFORMER AND PAD
- NEW TRANSFORMER AND PAD
- NEW SES & ELECTRIC METERS, SEE ELECTRICAL
- NEW CONCRETE SIDEWALK
- FIRE RISER
- FDC
- FIRE LINE BACK FLOW PREVENTOR
- 6" WALL: 3" TALL CMU w/ 3" TALL WROUGHT IRON ABOVE, 50% TRANSPARENT
- ACCESSIBLE ROUTE, SLOPE NO GREATER THAN 1:48 IN ANY DIRECTION, SEE CIVIL DRAWINGS
- BICYCLE PARKING
- 100'-0" BUILDING SETBACK
- 20'-0" BUILDING SETBACK
- 3'-0" BUILDING SETBACK
- LANDSCAPE AREA, SEE LANDSCAPE DWGS
- REAR YARD PATIOS
- MAILBOXES
- ACCESSIBLE CURB PER DETAIL MAG STANDARD P1255-1, SEE CIVIL
- COVERED PARKING, STEEL CANOPY, SEE STRUCTURAL
- OPEN SPACE
- LANDSCAPE PARKING AT 5%
- NEW ROLLED CURB, TYP.
- 30" HIGH SCREEN WALL, 8" BLOCK w/ CLEAR COAT FINISH TO MATCH BUILDING
- ABOVE GROUND RETENTION, SEE CIVIL
- GROUND MOUNTED HVAC UNIT ON CONCRETE PAD
- NEW PUBLIC FIRE HYDRANT, APPROVED PUBLIC HYDRANT (CPWT 2208876)
- BELOW GROUND RETENTION, SEE CIVIL
- ACCESSIBLE ENTRANCE PER IBC 1105.1
- RELOCATE LIGHT POLE TO THIS NEW LOCATION, (MOVED 30' WEST FROM ORIGINAL LOCATION)
- MONUMENT SIGN UNDER SEPARATE PERMIT
- DAY-NIGHT SLIDING GATE
- EXISTING PUBLIC STORM DRAIN OPENING
- DRYWELL LOCATION, SEE CIVIL
- EXISTING ELECTRICAL BOX TO REMAIN
- 30" x 30" PLANTER WITH 18" CURB
- HAMMER HEAD TURN-AROUND CLEARANCE FOR EMERGENCY VEHICLES
- BUILDING OVERHANG
- BUS STOP

DEFERRED SUBMITTALS

- UNDERGROUND FIRELINE
- SPRINKLER
- FIRE ALARM
- EMERGENCY ACCESS
- GATE PERMIT IS REQUIRED, (IF APPLICABLE)

PROJECT TEAM

OWNER:
 REGAL AMERICAN HOMES
 600 W 1ST ST #1049
 TEMPE, AZ 85251
 CONTACT: AVI AZOULAY
 AVI@REGALAMERICANHOMES.COM
 602.502.1048

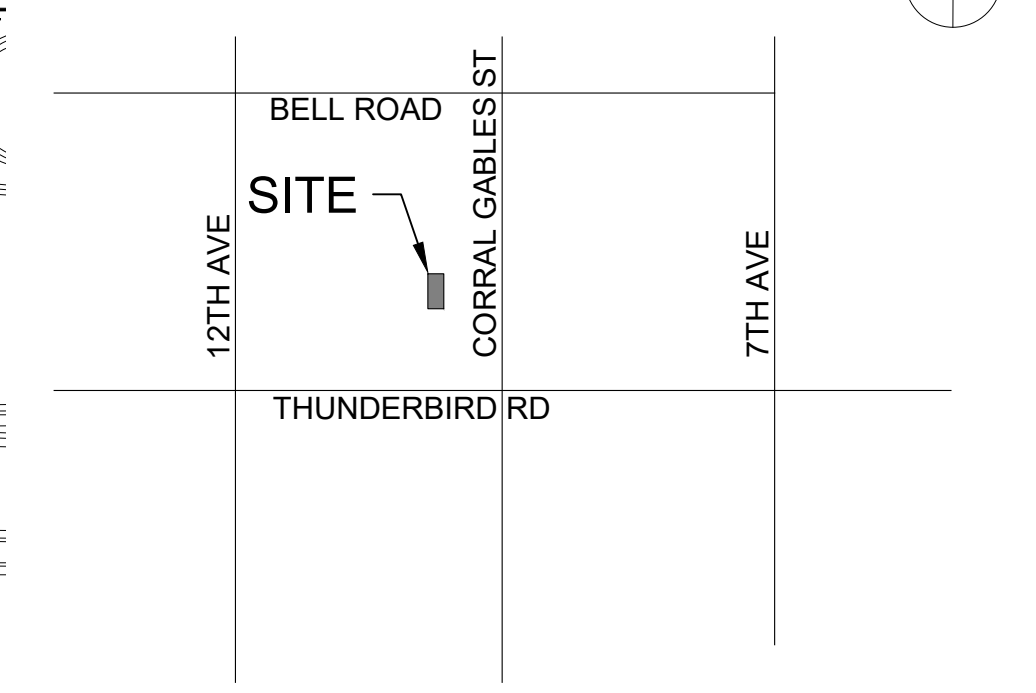
ZONING ATTORNEY:
 WITHEY MORRIS BAUGH, PLC
 2525 E. ARIZONA BILTMORE CIRCLE, STE A-212
 PHOENIX, AZ 85016
 CONTACT: JASON B. MORRIS
 JASON@WMBATTORNEYS.COM
 602.230.0600

ARCHITECT:
 CCBG ARCHITECTS, INC
 102 E. BUCHANAN ST.
 PHOENIX, AZ 85021
 CONTACT: VIRGINIA SENIOR
 VSENIOR@CCBGARCHITECTS.COM
 602.258.2211

CIVIL ENGINEER:
 EARTH LINE CIVIL
 4408 NORTH 12TH STREET, STE 200
 PHOENIX, AZ 85014
 CONTACT: STEVE BARGELOH
 STEVE@EARTHLINECIVIL.COM
 602.697.4996

LANDSCAPE ARCHITECT:
 DESIGN ETHIC
 7525 E. 6TH AVE.
 SCOTTSDALE, AZ 85252
 CONTACT: BRANDON PAUL
 BPAUL@DESIGNETHIC.NET
 480.225.7077

VICINITY MAP (N.T.S)



PRELIMINARY
 NOT FOR
 CONSTRUCTION

TOWNHOME APARTMENTS FOR RENT
THUNDERBIRD & CORAL GABLES DR
 THUNDERBIRD & CORAL GABLES DR
 PHOENIX, AZ 85023

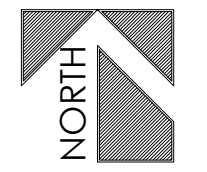
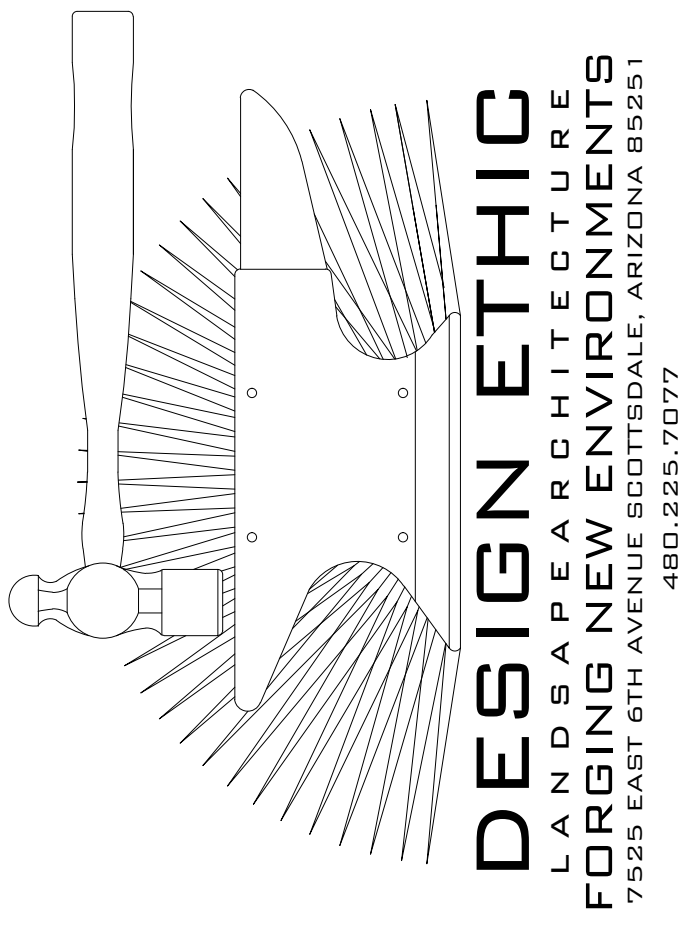
ISSUE		
DATE	REV	FOR
05.09.2024		PRE APP SITE PLAN
09.17.2024		PUD APPLICATION

Q.S.# Q32-26
 KIVA# 24-843
 SDEV# 2400268
 PAPP# 2403394
 PRLM#

Drawn
 VRS, RL
 Checked
 VRS
 Job Number
 2338
 Drawing
 SITE PLAN

Sheet
A1.0

EXHIBIT E



0' 20' 40' 60'
SCALE: 1" = 20'-0"



MULTI-FAMILY DIVISION
1010 WEST THUNDERBIRD ROAD
PHOENIX, ARIZONA

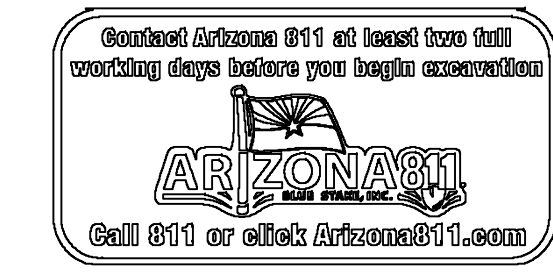
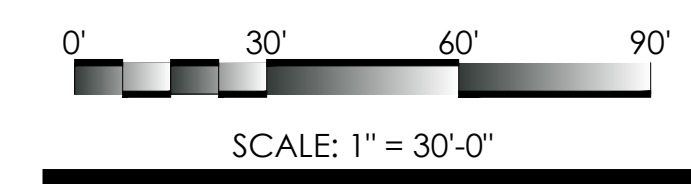
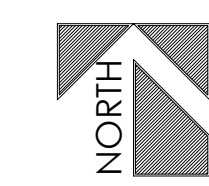
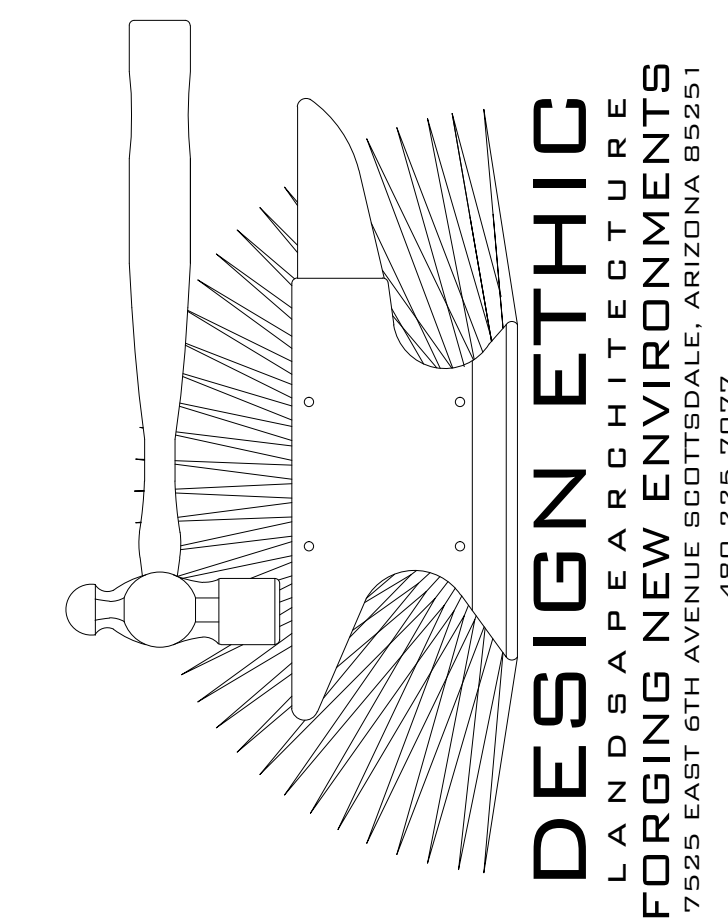
RENDERING

PROJECT:

SHEET TITLE:

JOB NO: 24-053
DATE: -
DRAWN BY: B. PAUL
SUBMITTED: 09.11.2024
REVISED:

SHEET
RENDERING



conceptual plant legend

trees	botanical name	common name	shrubs	botanical name	common name	accents	botanical name	common name	vines	botanical name	common name
	ACACIA FARNESIANA	SWEET ACACIA		BOUGAINVILLEA 'LA JOLLA'	LA JOLLA BOUGAINVILLEA		AGAVE SPECIES	AGAVE SPECIES		BOUGAINVILLEA SPECIES	BOUGAINVILLEA SPECIES
	ACACIA CONSTRICTA	WHITETHORN ACACIA		BOUGAINVILLEA 'ROSENKA'	ROSENKA BOUGAINVILLEA		ALOE SPECIES	ALOE SPECIES		MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE
	ACACIA SCHAFFNERI	TWISTED ACACIA		CAESALPINIA GILLIESII	YELLOW BIRD OF PARADISE		ASCLEPIAS SUBULATA	DESERT MILKWEED		JASMINUM MESNYI	YELLOW JASMINE VINE
	ACACIA SALICINA	WILLOW ACACIA		CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE		CARNEGIEA GIGANTEA	SAGUARO		PASSIFLORA SP.	PASSION VINE
	CAESALPINIA CACALACO	THORNLESS CASCALOTE		CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER		DASYLIRION SPECIES	DASYLIRION SPECIES		PARTHENOCISSUS SP.	HACIENDA CREEPER
	CHILOPSIS LINEARIS	DESERT WILLOW		CELTIS PALLIDA	DESERT HACKBERRY		ECHINOCACTUS GRUSONII	GOLDEN BARREL		ROSA BANKSIAE	LADY BANKS ROSE
	DALBERGIA SISSOO	SISSOO TREE		CORDIA PARVIFOLIA	LITTLELEAF CORDIA		EUPHORBIA ANTISYPHILITICA	CANDELILLA	groundcover	ACACIA REDOLENS	DESERT CARPET
	FRAXINUS VELUTINA 'RIO GRANDE'	FAN-TEX ASH		DALEA FRUTESCENS	SIERRA NEGRA		EUPHORBIA RIGIDA	GOPHER PLANT		AMBROSIA DELTOIDEA	BURSAGE
	OLNEYA TESOTA	IRONWOOD		DODONAEA VISCOSA	HOPSEED BUSH		EUPHORBIA TRICUCALLI	STICKS OF FIRE		BAILEYA MULTIRADIATA	DESERT MARIGOLD
	PARKINSONIA X. 'DESERT MUSEUM'	DESERT MUSEUM		ENCELIA FARINOSA	BRITTLEBUSH		FEROCACTUS CYLINDRACEUS	COMPASS BARREL		CONVOLVULUS CNEORUM	BUSH MORNING GLORY
	PARKINSONIA PRAECOX	PALO BREA		ERICAMERIA LARICIFOLIA	TURPENTINE BUSH		FOUQUIERIA SPLENDENS	OCOTILLO		CHRYSACTINIA MEXICANA	DAMIANITA
	PARKINSONIA FLORIDUM	BLUE PALO VERDE		EREMOPHILA SP.	VALENTINE		HESPERALOE FUNIFERA	GIANT HESPERALOE		DALEA CAPITATA	DALEA
	PARKINSONIA MICROPHYLLUM	FOOTHILLS PALO VERDE		JUSTICIA CALIFORNICA	CHUPAROSA		HESPERALOE PARVIFLORA	RED YUCCA		GAZANIA RIGENS	GAZANIA
	PISTACIA X. RED PUSH	RED PUSH PISTACHE		JUSTICIA SPICIGERA	MEXICAN HONEYSUCKLE		HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA		LANTANA SPECIES	LANTANA SPECIES
	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY		LARREA TRIDENTATA	CREOSOTE		LOPHOCEREUS SCHOTTII	SENITA		PENSTEMON SPECIES	PENSTEMON SPECIES
	PROSOPIS PUBESCENS	SCREWBEAN MESQUITE		LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD		MUHLENBERGIA CAPILLARIS	REGAL MIST		ROSMARINUS OFFICINALIS	ROSMARY
	PROSOPIS CHILENSIS 'THORNLESS'	THORNLESS CHILEAN MESQUITE		LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE		MUHLENBERGIA LINDHEIMERI	AUTUMN GLOW		RUELLIA BRITTONIANA 'KATIE'	'KATIE' RUELLIA
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK		LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD SAGE		NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS		SETCREASEA PALLIDA	PURPLE HEART PLANT
	SOPHORA SECUNDFLORA	TEXAS MOUNTAIN LAUREL		RUELLIA PENINSULARIS	BAJA RUELLIA		OPUNTIA BIGELOVII	TEDDY BEAR CHOLLA		SPHAGNETICOLA TRILOBATA	YELLOW DOT
	TIPUANA TIPU	TIPU TREE		RUELLIA BRITTONIANA	MEXICAN PETUNIA		OPUNTIA SANTA-RITA	PURPLE PRICKLY PEAR		TETRANEURIS ACAULIS	ANGELITA DAISY
palms	ULMUS PARVIFOLIA	EVERGREEN ELM		RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN		OPUNTIA FICUS INDICA	INDIAN FIG 'PRICKLY PEAR'		THYMOPHYLLA PENTACHAETA	GOLDEN DYSSODIA
	BIZMARKIA NOBILIS	BIZMARK PALM		SENNA ARTEMISIOIDES	FEATHERY CASSIA		OPUNTIA VERSICOLOR	STAGHORN CHOLLA		ABRONIA VILLOSA	SAND VERBENA
	BRAHEA ARMATA	MEXICAN BLUE PALM		SIMMONDSIA CHINENSIS	JOJOBA		PACHCEREUS MARGINATUS	MEXICAN FENCE POST		TURF	TURF
	BUTIA CAPITATA	PINDO PALM		SPHAERALCEA AMBIGUA	GLOBEMALLOW		PEDILANTHUS MACROCARPUS	SLIPPER PLANT			
	CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM		TECOMA ALATA	ORANGE JUBILEE		PORTULACARIA AFRA	ELEPHANTS FOOD			
	CYCAS REVOLUTA	SAGO PALM		TECOMA CAPENSIS	CAPE HONEYSUCKLE		YUCCA SPECIES	YUCCA SPECIES			
	PHOENIX DACTYLIFERA	DATE PALM		TECOMA STANS	YELLOW BELLS						
	PHOENIX ROEBELINII	PIGMY DATE PALM									
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM									

MULTI-FAMILY DIVISION
 1010 WEST THUNDERBIRD ROAD
 PHOENIX, ARIZONA
 RENDERING

PROJECT:
 JOB NO: 24-053
 DATE: -
 DRAWN BY: B. PAUL
 SUBMITTED: 09.11.2024
 REVISED:

SHEET
 RENDERING 30

EXHIBIT F

**PRELIMINARY
NOT FOR
CONSTRUCTION**

TOWNHOME APARTMENTS FOR RENT
THUNDERBIRD & CORAL GABLES DR
THUNDERBIRD & CORAL GABLES DR
PHOENIX, AZ 85023

PROJECT DATA

PROJECT ADDRESS:
1010 W THUNDERBIRD RD
PHOENIX, AZ 85014

PROJECT DESCRIPTION:
THIS PROJECT IS A 16 UNIT, GROUND UP, TOWNHOMES w/ GARAGE AND ONSITE PARKING. EACH BUILDING IS A TWO-STORY, TYPE VA WOOD FRAME BUILDING, SLAB ON GRADE. THE TOWNHOMES WILL BE INDIVIDUALLY PLATTED, ALONG WITH A SEPARATE HOA FOR SHARED AREA.

APN:
208-27-743

GROSS SITE AREA:
3.72 ACRES (162,151 SF)

NET SITE AREA:
2.71 ACRES (117,911 SF)

DENSITY CALCULATIONS:
ALLOWABLE PER R-2 PRD: 10.50 DU
PROVIDED: 4.30 DU (16 UNITS/ 3.72 ACRES)

TOTAL UNIT COUNT:
16 TOWNHOME UNITS

ZONING:
EXISTING: R-O
PROPOSED: PUD

KEYNOTES

1. SITE VISIBILITY TRIANGLE
2. NEW CONCRETE SIDEWALK
3. ACCESSIBLE ROUTE, SLOPE NO GREATER THAN 1:48 IN ANY DIRECTION, SEE CIVIL DRAWINGS
4. BICYCLE PARKING
5. ACCESSIBLE CURB PER DETAIL MAG STANDARD P1255-1, SEE CIVIL
6. ACCESSIBLE ENTRANCE PER IBC 1105.1
7. DAY-NIGHT SLIDING GATE
8. HAMMER HEAD TURN-AROUND CLEARANCE FOR EMERGENCY VEHICLES
9. BUS STOP

LEGEND

- PEDESTRIAN CIRCULATION
- ↑↓ VEHICULAR CIRCULATION

PROJECT TEAM

OWNER:
REGAL AMERICAN HOMES
600 W 1ST ST #1049
TEMPE, AZ 85251
CONTACT: AVI AZOULAY
AVI@REGALAMERICANHOMES.COM
602.502.1048

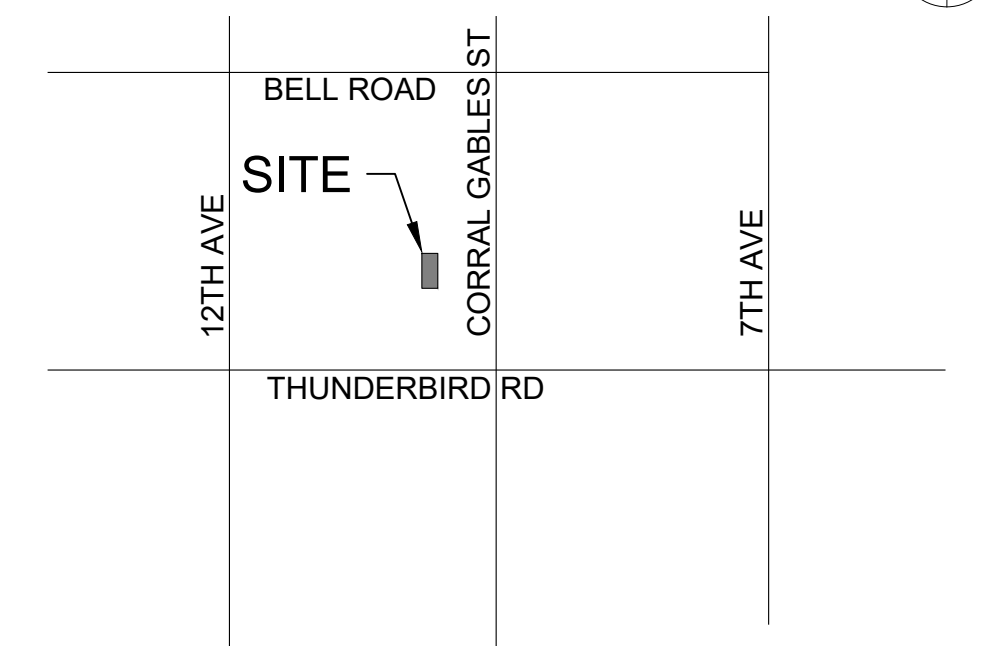
ZONING ATTORNEY:
WITHEY MORRIS BAUGH, PLC
2525 E. ARIZONA BILTMORE CIRCLE, STE A-212
PHOENIX, AZ 85016
CONTACT: JASON B. MORRIS
JASON@WMBATTORNEYS.COM
602.230.0600

ARCHITECT:
CCBG ARCHITECTS, INC
102 E. BUCHANAN ST.
PHOENIX, AZ 85021
CONTACT: VIRGINIA SENIOR
VSENIOR@CCBGARCHITECTS.COM
602.258.2211

CIVIL ENGINEER:
EARTH LINE CIVIL
4408 NORTH 12TH STREET, STE 200
PHOENIX, AZ 85014
CONTACT: STEVE BARGELOH
STEVE@EARTHLINECIVIL.COM
602.697.4996

LANDSCAPE ARCHITECT:
DESIGN ETHIC
7525 E. 6TH AVE
SCOTTSDALE, AZ 85252
CONTACT: BRANDON PAUL
BPAUL@DESIGNETHIC.NET
480.225.7077

VICINITY MAP (N.T.S)

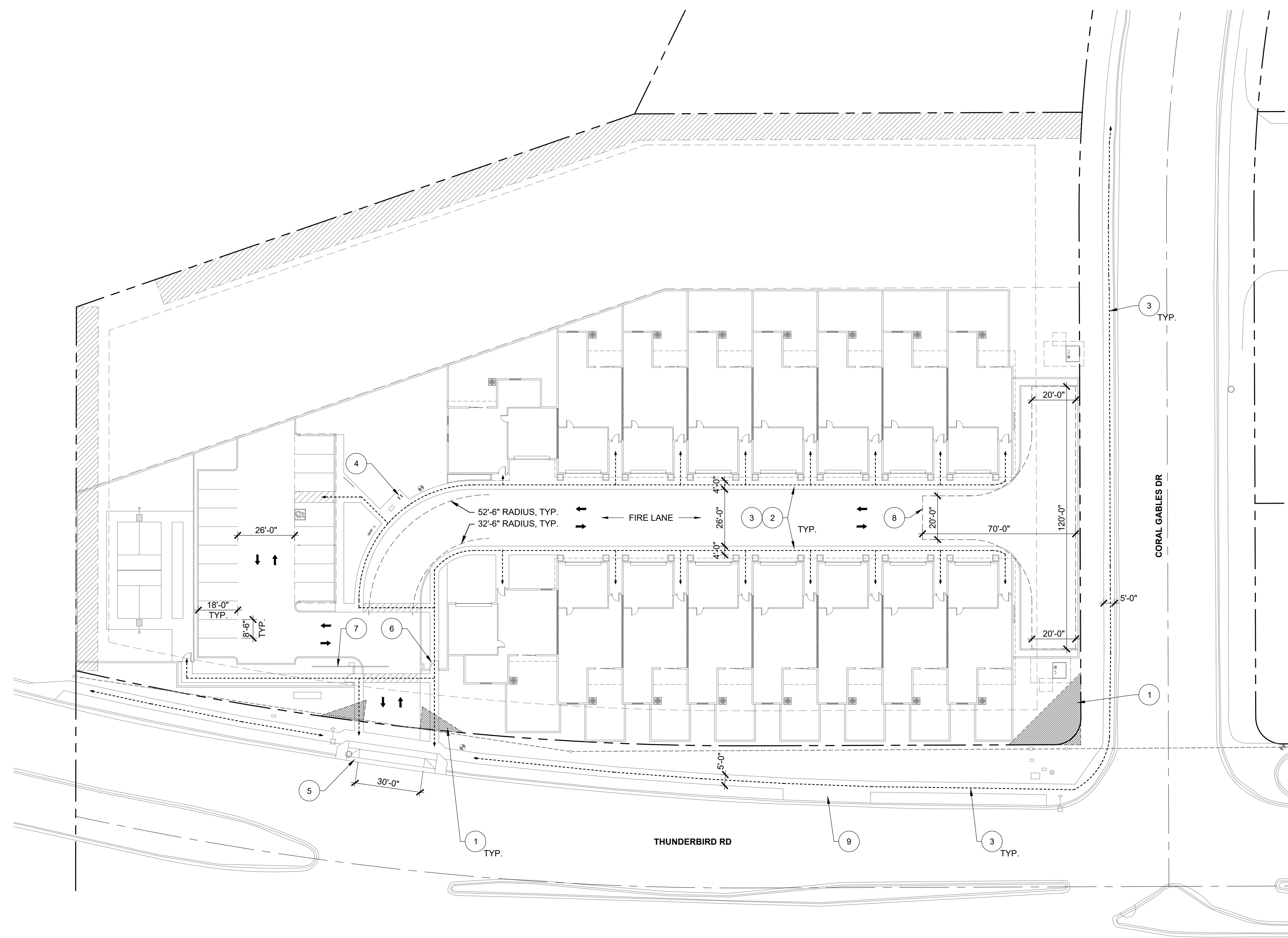


Q.S.# Q32-26
KIVA# 24-843
SDEV# 2400268
PAPP# 2403394
PRLM#

ISSUE		
DATE	REV	FOR
05.09.2024		PRE APP SITE PLAN
09.17.2024		PUD APPLICATION

Drawn	VRS RL
Checked	VRS
Job Number	2338
Drawing	CIRCULATION DIAGRAM
Sheet	

A1.1



1 CIRCULATION DIAGRAM
1" = 30'-0"

X:\2338 AVI THUNDERBIRD\2338 DRAWING\AVI\PROJECT\DRAWING\AVI\CIRCULATION DIAGRAM.DWG Printed by: ROCK, JUAN on 9/17/2024 5:18:25 PM